

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 INTERNATIONAL PROPERTY MAINTENANCE CODE
2022 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS

2. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. DRAWINGS ARE NOT TO BE SCALED. PROVIDE ITEMS SHOWN OR REFERRED TO ON ONE DRAWING OR SPECIFICATION SECTION AS THOUGH SHOWN ON ALL DRAWINGS AND/OR SPECIFICATIONS.

3. SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

4. MAKE ALL FIELD MEASUREMENTS AND INVESTIGATIONS NECESSARY TO PERFORM THE WORK.

5. VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, IRRIGATION AND LIGHTING EQUIPMENT (INCLUDING ALL PIPING, DUCT AND CONDUIT ROUTING) AND THAT ALL REQUIRED CLEARANCES FOR THE INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.

6. ANY/ALL EXISTING UTILITIES REMOVED SHALL BE TERMINATED BACK TO THE NEAREST USEFUL SOURCE OR REROUTED AS NECESSARY (TYPICAL).

7. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.

8. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REMOVE REJECTED ITEMS IMMEDIATELY FROM THE WORK AND REPLACE WITH THE ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE THE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE SUBCONTRACTOR FOR THE QUALITY AND CHARACTER FOR THE ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE SUBCONTRACT.

9. PROVIDE WOOD OR METAL BLOCKING AS REQUIRED IN WALLS, BEHIND WALL-HUNG SHELVES, CASEWORK, PANEL BOARDS, ETC., INCLUDING N.I.C. ITEMS.

10. WHEN PROJECT IS COMPLETE, CLEAN AND POLISH ALL NEW GLASS, HARDWARE, AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH TREATED CLOTH OR VACUUM CLEANERS.

11. ALL DIMENSIONS ARE TO FACE OF WALL OR FACE OF CONCRETE U.O.N.

LIFE SAFETY NON-INFRINGEMENT STATEMENT
THE BUILDING RENOVATIONS SHOWN ON THE DRAWINGS UNDER MY RESPONSIBLE CHARGE DO NOT AFFECT THE DESIGN OR OPERATION OF EXISTING SMOKE MANAGEMENT SYSTEMS.

CAL GREEN NOTES

1. SECTION CGBC 4.507. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE:

A) THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J – 2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

B) DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D – 2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

C) SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S – 2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTIONS ARE ACCEPTABLE.

2. SECTION CGBC 4.406.1. ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

3. SECTION CGBC 4.504.1. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED. TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS ENTERING THE SYSTEM MAY BE USED.

4. SECTION CGBC 4.504.2.1. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:

A) ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS SHALL ALSO COMPLY WITH RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROACETIC, ETHYLENEDICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION B) BELOW.

B) AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507.

5. SECTION CGBC 4.504.2.2. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITION FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.2.1, 4.3.6, AND 4.3.7 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

6. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN SECTION 4.504.3

7. MIN 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN SECTION 4.504.4

8. PARTICLEBOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

7. SECTION CGBC 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

A) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.

B) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.

C) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

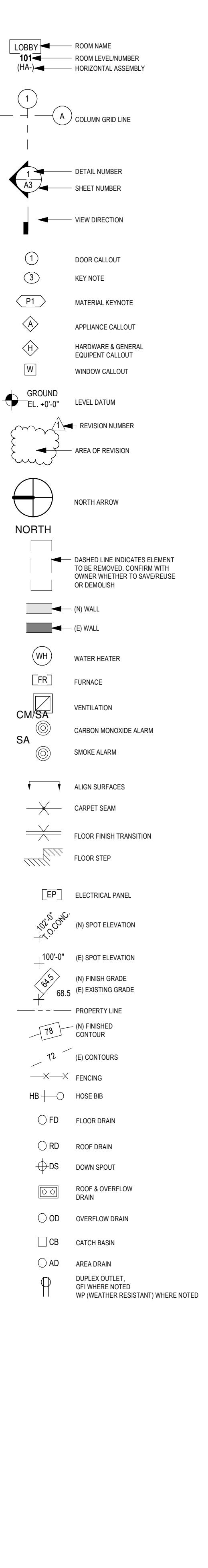
INSULATION PRODUCTS WHICH ARE VISIBLELY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING

RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM APPROXIMATE
A/V	AUDIO/VISUAL
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
B.O.	BOTTOM OF
B/TWN	BETWEEN
CLG.	CEILING
CLKG.	CAULKING
CLOS.	CLOSET
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
CTR.	CENTER
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
D.O.	DOOR OPENING
DWG.	DRAWING
DWR.	DRAWER
(E)	EXISTING
E.J.	EXPANSION JOINT
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMER.	EMERGENCY
ENGR.	ENGINEER
EST.	ESTIMATED
EQ.	EQUAL
EQPT.	EQUIPMENT
EXT.	EXTERIOR
F#.	FLOOR TYPE
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FL.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.P.	FACE OF PLYWOOD
F.O.S.	FACE OF STUD
FRN.	FURNACE
FT.	FOOT or FEET
FURR.	FURRING
FUT.	FUTURE
GA.	GAUGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
GEN.	GENERAL
GYP.	GYPSUM WALL BOARD
H.B.	HOSE BIB
H.C.	HANDICAPPED
H.M.	HOLLOW METAL
HOR.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
HW.	HOT WATER HEATER
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
KIT.	KITCHEN
LAM.	LAMINATE
LAV.	LAVATORY
MAX.	MAXIMUM
M.D.F.	MEDIUM DENSITY FIBERBOARD
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
(N)	NEW
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
PLY.	PLYWOOD
P.T.	PRESSURE TREATED
PTD.	PAINTED
REQ.	REQUIRED
R.O.	ROUGH OPENING
S.A.F.	SELF ADHERED FLASHING
S.C.D.	SEE CIVIL DRAWINGS
SCHED.	SCHEDULE
S.E.D.	SEE ELECTRICAL DRAWINGS
S.F.	SQUARE FEET
SIM.	SIMILAR
S.M.D.	SEE MECHANICAL DRAWINGS
SPEC.	SPECIFICATION
S.S.D.	SEE STRUCTURAL DRAWINGS
SST.	STAINLESS STEEL
STL.	STEEL
STR.	STORAGE
STRUCT.	STRUCTURAL
T&G.	TONGUE AND GROOVE
TEL.	TELEPHONE
TEMP.	TEMPORARY
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORY
U.O.N.	UNLESS OTHERWISE NOTED
V.C.T.	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD
W.C.	WATER CLOSET
W.R.	WET RATED
W.O.	WHERE OCCURS

SYMBOLS



PROJECT SUMMARY

THE PROPOSAL IS FOR ARCHITECTURAL DESIGN OF A SECOND STORY ADU ADDITION OVER AN EXISTING GARAGE.

PROJECT BACKGROUND

ADDRESS: 882 HILLSIDE AVE, ALBANY, CA 94706

BLOCK/LOT/APN: 66-2752-44-1

ZONING: (R-1)(H-HILLSIDE OVERLAY)

USE: RESIDENTIAL, SINGLE FAMILY

UNITS: 3,999 SF

STORIES: (E) - 1 PRIMARY

PROPOSED - 1 ADU

3

ADU: 25' MAIN HOUSE: 28'

N/A

EXISTING: 0.71

ALLOWED: 0.55

PRIMAR DWELLING: 282 SF

PRIMAR DWELLING: NO CHANGE ADU: 402 SF

LOT COVERAGE: NO CHANGE

PRIMAR DWELLING: 3 ADU: 1

BEDROOMS: 2 ADU: 1

BATHROOMS: 1 ADU: 1

PARKING STALLS: 2 ADU: 2

PRESERVATION: N/A

OCCUPANCY GROUP: RESIDENTIAL
CONSTRUCTION TYPE: V-B
SPRINKLERED: NO (PRIMARY RESIDENCE NOT SPRINKLERED)
WILDLAND URBAN INTERFACE: NO
FLOOD ZONE: NO

RESIDENTIAL
V-B
NO (PRIMARY RESIDENCE NOT SPRINKLERED)
NO
NO

DRAWING INDEX

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A0.3A	CONSTRUCTION MANAGEMENT PLAN	S3	BUILDING SECTION
A0.3B	GREEN BUILDING WORKSHEET	SD1	STRUCTURAL NOTES
A0.4A	CAL GREEN	SD2	STRUCTURAL DETAILS
A0.4B	CAL GREEN	SD3	STRUCTURAL DETAILS
A0.4C	CAL GREEN	SD4	STRUCTURAL DETAILS
A0			



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



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94706

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No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

SCALE 1 1/2" = 1'-0"

GENERAL NOTES

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- ALL NEW LIGHTING SHALL BE HIGH EFFICIENCY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A). ALL JAB OR JAB LAMPS SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. INTERIOR RECESSED LIGHT FIXTURES SHALL BE IC LISTED AND AIRTIGHT. SEE MF-1R FOR DETAILS AT [HTTP://WWW.ENERGY.CA.GOV/TITLE24/2016STANDARDS/](http://WWW.ENERGY.CA.GOV/TITLE24/2016STANDARDS/)
- IN KITCHENS (NOT AT COUNTERTOPS), FAMILY, LIVING, DINING ROOMS, BEDROOMS, HALLWAYS AND SIMILAR ROOMS PROVIDE RECEPTACLE OUTLETS AT EACH WALL SPACE 2 FEET OR WIDER, MAXIMUM 12 FEET APART. NO POINT ALONG WALL LINE WILL BE MORE THAN 6', MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE.
- ALL NEW RESIDENTIAL 125 VOLT, 15 AND 20 AMP CIRCUITS NOT REQUIRED TO BE GFCI/AFCI PROTECTED MUST BE A.F.C.I. PROTECTED. ALL NEW 125 VOLT, 15 AND 20 AMP RATED RECEPTACLES MUST BE TAMPER-RESISTANT TYPE.
- ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS, CLOTHES CLOSETS, LINEN CLOSETS OR STORAGE ROOMS WITH EASILY IGNITABLE COMBUSTIBLES, OR IN LOCATIONS NOT READILY ACCESSIBLE.
- A SEISMIC GAS SHUT-OFF VALVE, CALIFORNIA LISTED, SHALL BE INSTALLED IN NEW BUILDINGS AND STRUCTURAL REMODELS OF EXISTING BUILDINGS SERVED BY NATURAL OR PROPANE GAS, PLUMBING OR MECHANICAL PERMITS FOR INSTALLATION OR ALTERATION OF A GAS LINE OR INSTALLATION OR RELOCATION OF A GAS APPLIANCE OR ANY NEW GAS PIPING.
- CA CIVIL CODE 1101.8: EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED IF THEY DO NOT MEET THE FOLLOWING STANDARD: WATER CLOSETS MAXIMUM 1.6 GALLONS FLUSH, SHOWERHEADS MAXIMUM 2.5 GALLONS PER MINUTE, LAVATORY AND KITCHEN FAUCETS AT 2.2 GALLONS PER MINUTE MAXIMUM.
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH SLEEPING ROOM AT THE HIGHEST POINT OF THE CEILING, CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA, AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SEE THE INSTALLATION INSTRUCTIONS FOR OTHER LOCATIONS. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS EQUIPPED WITH GAS APPLIANCES AND SHALL BE INSTALLED OUTSIDE SLEEPING AREAS AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SMOKE AND CO DETECTORS ARE REQUIRED TO BE SUPPLIED BY 110V POWER IF THE BUILDING HAS ACCESSIBLE UNDERFLOOR AND/OR ATTIC SPACES. IF POSSIBLE, MULTIPLE 110V ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. BATTERY-POWERED UNITS ARE ALLOWED IN SOME CIRCUMSTANCES.
- IN ALL FIRE HAZARD SEVERITY ZONES, INCLUDING THE WILDLAND URBAN INTERFACE (WUI) ALL NEW/REPLACEMENT WINDOWS SHALL BE DUAL PANE/TEMPERED GLASS. ALL NEW/REPLACEMENT EXTERIOR DOORS SHALL BE FIRE RESISTIVE (1 3/8" THICK OR 20 MINUTE FIRE RATED).
- DWELLINGS SHALL BE POSTED WITH VISIBLE ADDRESS NUMERALS WITH A MINIMUM OF 4 INCHES IN HEIGHT AND A 1/2 INCH WIDE STROKE. CHECK WITH THE LOCAL FIRE AUTHORITY FOR FURTHER REQUIREMENTS.
- EXTERIOR DOORS: NEW OR REPLACEMENT EGRESS DOORS REQUIRE LEVEL LANDINGS ON BOTH SIDES WITH THRESHOLDS A MAXIMUM 1/4" IN HEIGHT FOR OUT-SWINGING DOORS, 7 1/2" FOR IN-SWINGING DOORS. OTHER DOORS MAY HAVE A MAXIMUM OF TWO STEPS UP TO AN IN-SWINGING DOOR WITH A MAXIMUM OF 7 1/4" HEIGHT IN VERTICAL RISE FOR EACH STEP. OTHER OUT-SWINGING DOORS MAY SWING OVER A LANDING WITH A MAXIMUM 7 3/4" INCHES FROM THE TOP OF THE THRESHOLD TO THE TOP OF A LANDING. RESIDENTIAL LANDINGS MUST BE AT LEAST AS WIDE AS THE DOOR THEY SERVE AND A MINIMUM OF 36 INCHES IN THE DIRECTION OF TRAVEL.
- EXTERIOR DOORS & LANDINGS REQUIRE AN EXTERIOR LIGHT SWITCHED FROM THE INSIDE. LIGHTS SHALL EITHER BE LED OR FLUORESCENT AND CONTROLLED BY A MOTION SENSITIVE, DAYLIGHT SENSING DEVICE. (DOWNWARD SHINING MAY BE REQUIRED.)

KITCHEN NOTES:

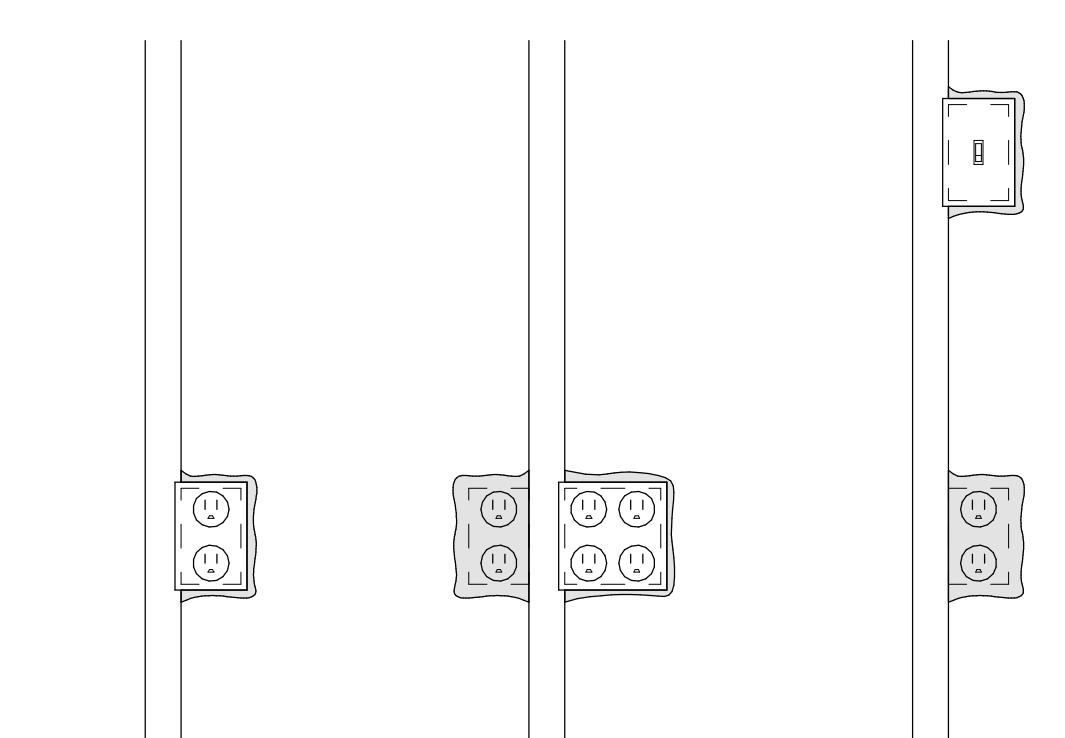
- PROVIDE A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS TO SERVE TAMPER RESISTANT GFCI COUNTER RECEPTACLES IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS AND SIMILAR AREAS.
- WHEN SEPARATE CIRCUITS FOR THE GARBAGE DISPOSAL AND DISHWASHER ARE TERMINATED IN THE SAME BOX, PROVIDE A SEPARATE BOX. LABEL RECEPTACLES FOR THE APPLIANCE THEY SERVE. PROVIDE A HANDLE TIE FOR THE CIRCUIT BREAKERS AT THE SERVICE PANEL. NO OTHER RECEPTACLE SHALL BE INSTALLED IN THIS BOX. DISHWASHER REQUIRES A GFCI RECEPTACLE OUTLET.
- INSTALL COUNTERTOP RECEPTACLE OUTLETS AT EACH COUNTER SPACE 12" OR WIDER. INSTALL RECEPTACLES SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE. PROVIDE A MINIMUM OF ONE RECEPTACLE FOR PENINSULA COUNTERS AND ISLANDS.
- COUNTERTOP RECEPTACLES SHALL BE LOCATED A MAXIMUM OF 20 INCHES ABOVE OR 12 INCHES BELOW THE COUNTERTOP. RECEPTACLES SHALL NOT BE INSTALLED IN A FACE UP POSITION.
- PROVIDE BACKFLOW PREVENTION FOR SPRAY HEADS ATTACHED TO HOSES.
- CONNECT DISHWASHER WITH APPROVED AIR GAP DEVICE LOCATED ABOVE THE FLOOD LEVEL OF THE SINK.
- PROVIDE A MINIMUM 100 CFM RANGE HOOD THAT VENTS TO THE EXTERIOR (NEW BUILDINGS AND SUBSTANTIAL REMODELS).
- KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE

BATHROOM NOTES:

- PROVIDE A MINIMUM OF ONE 20 AMP GFCI/AFCI CIRCUIT FOR EACH BATHROOM. TAMPER RESISTANT RECEPTACLE OUTLETS ARE REQUIRED WITHIN 3 FEET OF EACH SINK.
EXCEPTION: ALL BATHROOM GFCI/AFCI RECEPTACLES CAN BE ON A SINGLE 20 AMP DEDICATED CIRCUIT.
- LIGHT FIXTURES IN SHOWER ENCLOSURES SHALL BE APPROVED FOR "WET LOCATION".
- A MINIMUM OF ONE LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR.
- PROVIDE A SEPARATELY SWITCHED MINIMUM 50 CFM FAN WITH A HUMIDITY CONTROL THAT VENTS TO THE EXTERIOR. VENTS SHALL TERMINATE A MINIMUM OF 3 FEET FROM OPENINGS INTO A BUILDING.
EXCEPTION: HALF BATHS (A WATER CLOSET AND LAVATORY ONLY) IF PROVIDED WITH A WINDOW THAT OPENS DO NOT REQUIRE FANS.
- WATER CLOSETS REQUIRE A MINIMUM 15" OF CLEARANCE FROM THE CENTER LINE TO A SIDE WALL OR OBSTRUCTION AND 24 INCHES OF CLEAR SPACE IN FRONT.
- SHOWER COMPARTMENTS REQUIRE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE FROM FINISHED WALL TO FINISHED GLAZING. SURFACES SHALL BE WATERPROOF UP TO 72 INCHES ABOVE THE DRAIN OUTLET. MATERIAL BASE FOR TILE SHALL BE GLASS MAT GYPSUM BACKING PANEL, NONASBESTOS FIBER-CEMENT BACKER BOARD OR NONASBESTOS FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNIT. PROVIDE A MINIMUM 22 INCH CLEAR OPENING AT THRESHOLDS. PROVIDE A MINIMUM 22 INCH CLEAR OPENING FOR SHOWER DOOR EGRES. GLASS SHOWER DOORS AND PARTITIONS SHALL BE TEMPERED OR SAFETY GLASS, AND SHALL BE PROPERLY SUPPORTED ON ALL EDGES. WOOD WINDOWS ARE NOT ALLOWED WITHIN SHOWER ENCLOSURE.
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED SUCH THAT THE SPRAY DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE AND THE BATHER CAN ADJUST THE VALVE WITHOUT STEPPING INTO THE SPRAY.
- SHOWERS, TUB-SHOWER COMBINATIONS AND BATHTUBS SHALL BE PROVIDED WITH CONTROL VALVES WITH ANTI-SCALD PROTECTION. SUCH VALVES SHALL BE OF THE PRESSURE BALANCING AND/OR THERMOSTATICALLY CONTROLLED TYPE.
- HAND-HELD SHOWERHEADS ATTACHED TO FLEXIBLE HOSES SHALL BE PROVIDED WITH AN APPROVED METHOD OF BACKFLOW PREVENTION IF THE HEAD CAN BE PLACED BELOW THE FLOOD LEVEL.
- WATER CLOSETS REQUIRE MAXIMUM 1.28 GALLON FLUSH, SHOWERHEADS MAXIMUM 1.8 GALLONS PER MINUTE, LAVATORY FAUCETS MAXIMUM 1.2 GALLONS PER MINUTE.
- WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER TO BE IN OPERATION AT A TIME.
- PROVIDE TEMPERED GLAZING FOR WINDOWS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60 INCHES:
A. ABOVE THE STANDING SURFACE IN A TUB OR SHOWER.
B. WITHIN 60 INCHES MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A TUB OR SHOWER PROVIDE TEMPERED OR SAFETY GLAZING.

BEDROOM NOTES:

- FLUORESCENT AND RECESSED LIGHT FIXTURES IN CLOSETS MUST MAINTAIN A MINIMUM OF 6" HORIZONTAL CLEARANCE FROM THE EDGE OF SHELVES.
- GAS APPLIANCES ARE NOT ALLOWED TO BE INSTALLED IN BEDROOMS OR BATHROOMS UNLESS THEY ARE OF THE DIRECT-VENT TYPE OR ARE IN A SEALED CLOSET WHICH DRAWS COMBUSTION AIR FROM THE OUTSIDE AIR.
- BEDROOMS SHALL BE A MINIMUM AREA OF 70 SQUARE FEET WITH A MINIMUM CEILING HEIGHT OF 7' 0".
- BEDROOMS WINDOWS SHALL PROVIDE A MINIMUM OF 8% OF ITS FLOOR AREA IN NATURAL LIGHT AND 4% OF ITS FLOOR AREA IN NATURAL VENTILATION.
- EACH BEDROOM SHALL HAVE AN EGGSHELL WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET IN OPENABLE AREA, WITH A MINIMUM OPENING WIDTH OF 20" AND A MINIMUM OPENING HEIGHT OF 24"; THE WINDOW'S LOWEST OPEN EDGE SHALL NOT EXCEED 44" IN HEIGHT ABOVE THE FINISHED FLOOR.
EXCEPTION: GRADE LEVEL WINDOWS (LOWEST OPEN EDGE AT OR BELOW 44" FROM GRADE) MAY HAVE AN OPENABLE EGGSHELL AREA OF 5.0 SQUARE FEET. AN EGGSHELL DOOR (MIN. 3 FT. X 6 FT. 8 INCHES) MAY SUBSTITUTE FOR AN EGGSHELL WINDOW.
NOTE: SECOND STORY EGGSHELL WINDOWS SHALL BE PROVIDED WITH ESCAPE LADDERS IF THE BUILDING IS NOT EQUIPPED WITH A FIRE SPRINKLER SYSTEM.



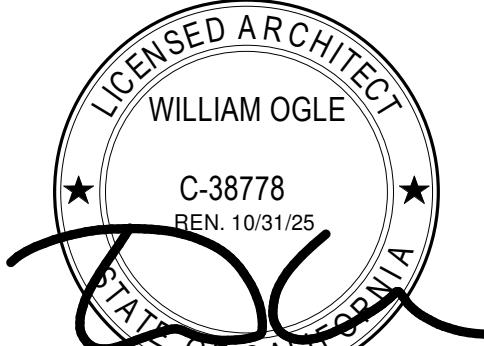
NOTES: OPENINGS FOR ELECTRICAL BOXES IN RATED WALLS

- MEMBRANE PENETRATIONS OF NOT MORE THAN 2-HOUR FIRE-RESISTANCE-RATED WALLS AND PARTITIONS BY STEEL ELECTRICAL BOXES THAT DO NOT EXCEED 16 SQUARE INCHES (0.0103 M²) IN AREA PROVIDED THAT THE AGGREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE DOES NOT EXCEED 100 SQUARE INCHES (0.0645 M²) IN ANY 100 SQUARE FEET (9.29 M²) OF WALL AREA. THE ANNUAL SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.1 MM). SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY ONE OF THE FOLLOWING:
 - BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES (610 MM) WHERE THE WALL OR PARTITION IS CONSTRUCTED WITH INDIVIDUAL NONCOMMUNICATING STUD CAVITIES.
 - BY A HORIZONTAL DISTANCE OF NOT LESS THAN THE DEPTH OF THE WALL CAVITY WHERE THE WALL CAVITY IS FILLED WITH CELLULOSE LOOSE-FILL, ROCKWOOL OR SLAG MINERAL WOOL INSULATION.
 - BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.
 - BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS.
 - BY OTHER LISTED MATERIALS AND METHODS.
- MEMBRANE PENETRATIONS BY LISTED ELECTRICAL BOXES OF ANY MATERIALS PROVIDED THAT THE BOXES HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING. THE ANNUAL SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.1 MM) UNLESS LISTED OTHERWISE. SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY ONE OF THE FOLLOWING:
 - BY THE HORIZONTAL DISTANCE SPECIFIED IN THE LISTING OF THE ELECTRICAL BOXES.
 - BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.
 - BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS.
 - BY OTHER LISTED MATERIALS AND METHODS.



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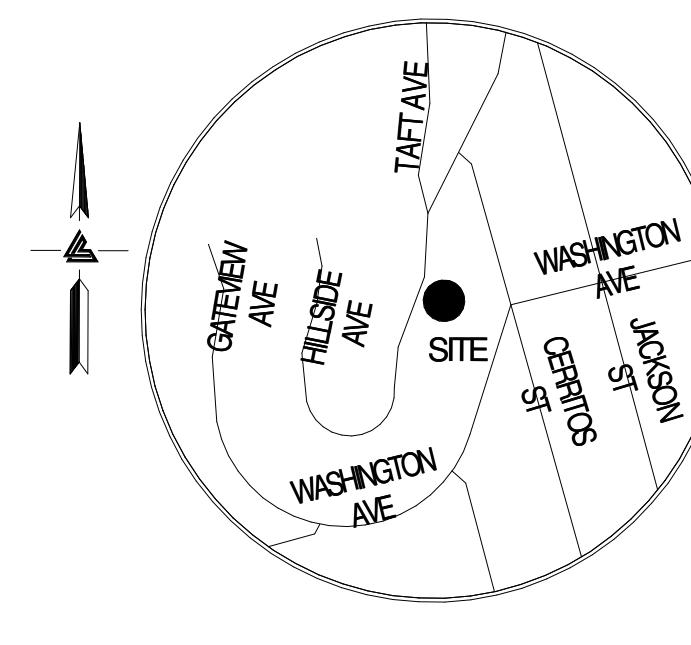
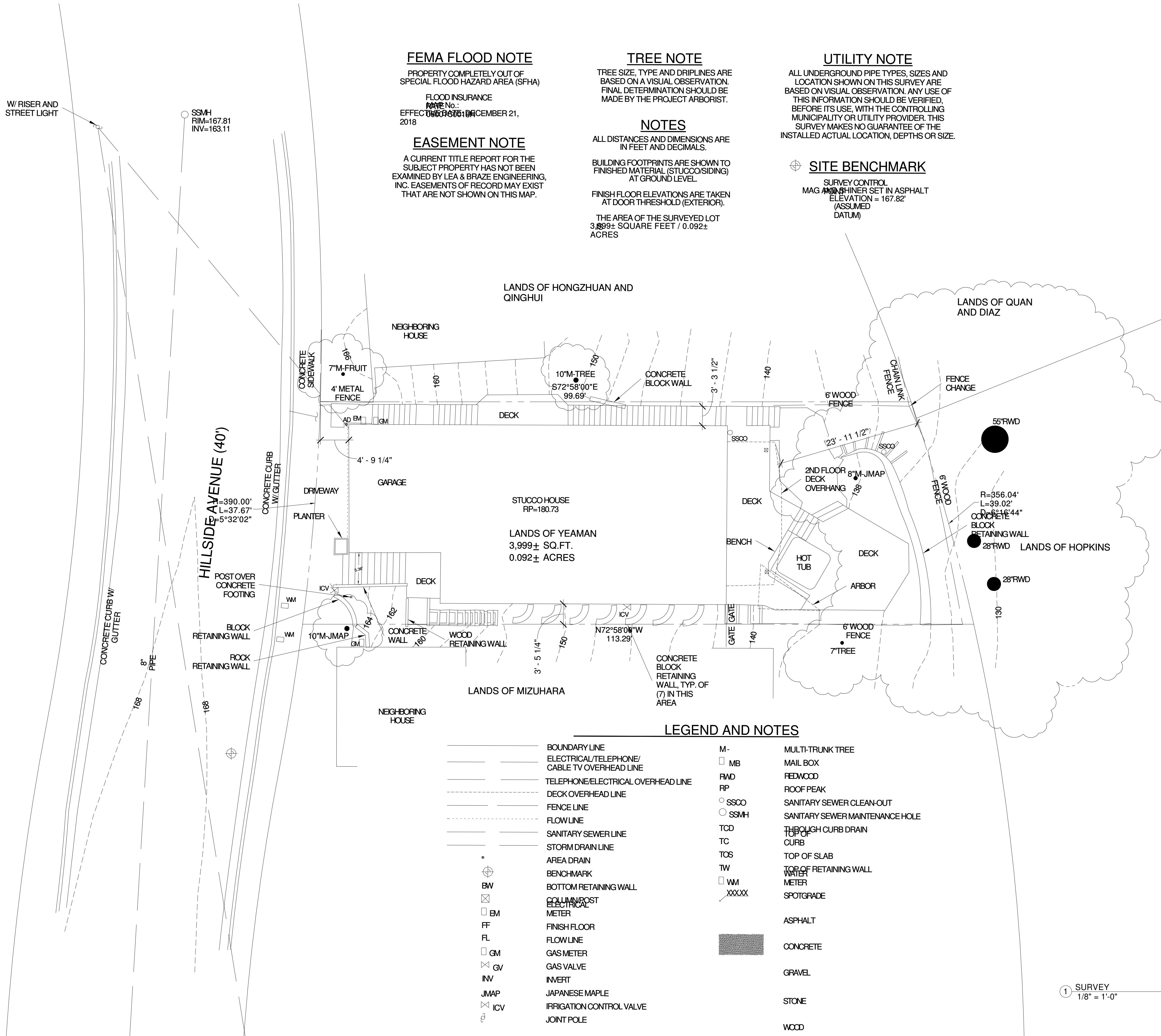
CITY STAMPING AREA

SCALE 1/8" = 1'-0"

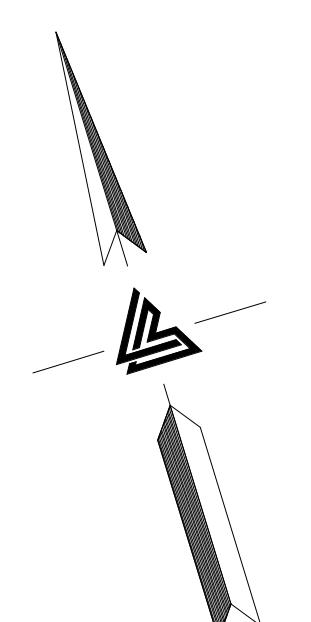
SURVEY

A1.0

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VICINITY MAP

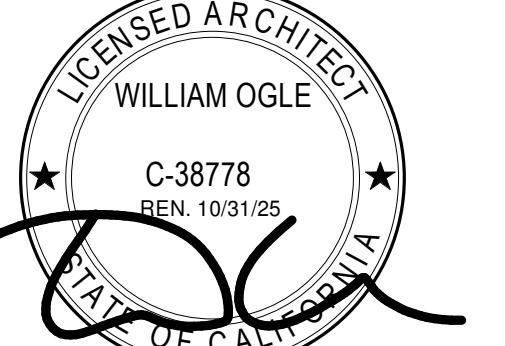


1 SURVEY
1/8" = 1'-0"

SCALE: 1" = 8'

82 HILLSIDE ADU

32 HILLSIDE AVE, ALBANY, CA
94706



W/NER
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(510) 509-2362

o.	Description	Date
	PERMIT SET	09/26/2025
	PLANNING APPLICATION	11/26/2015

1/4" = 1'-0"

TE PLAN & SETBACK

A1.1

EXISTING FLOOR AREA CALCULATION

PRIMARY DWELLING

LOWER	1349 SF
MAIN	1309 SF
COVERED PARKING	324 SF
TOTAL	2982 SF
FAR	2982 / 3999 = 0.75

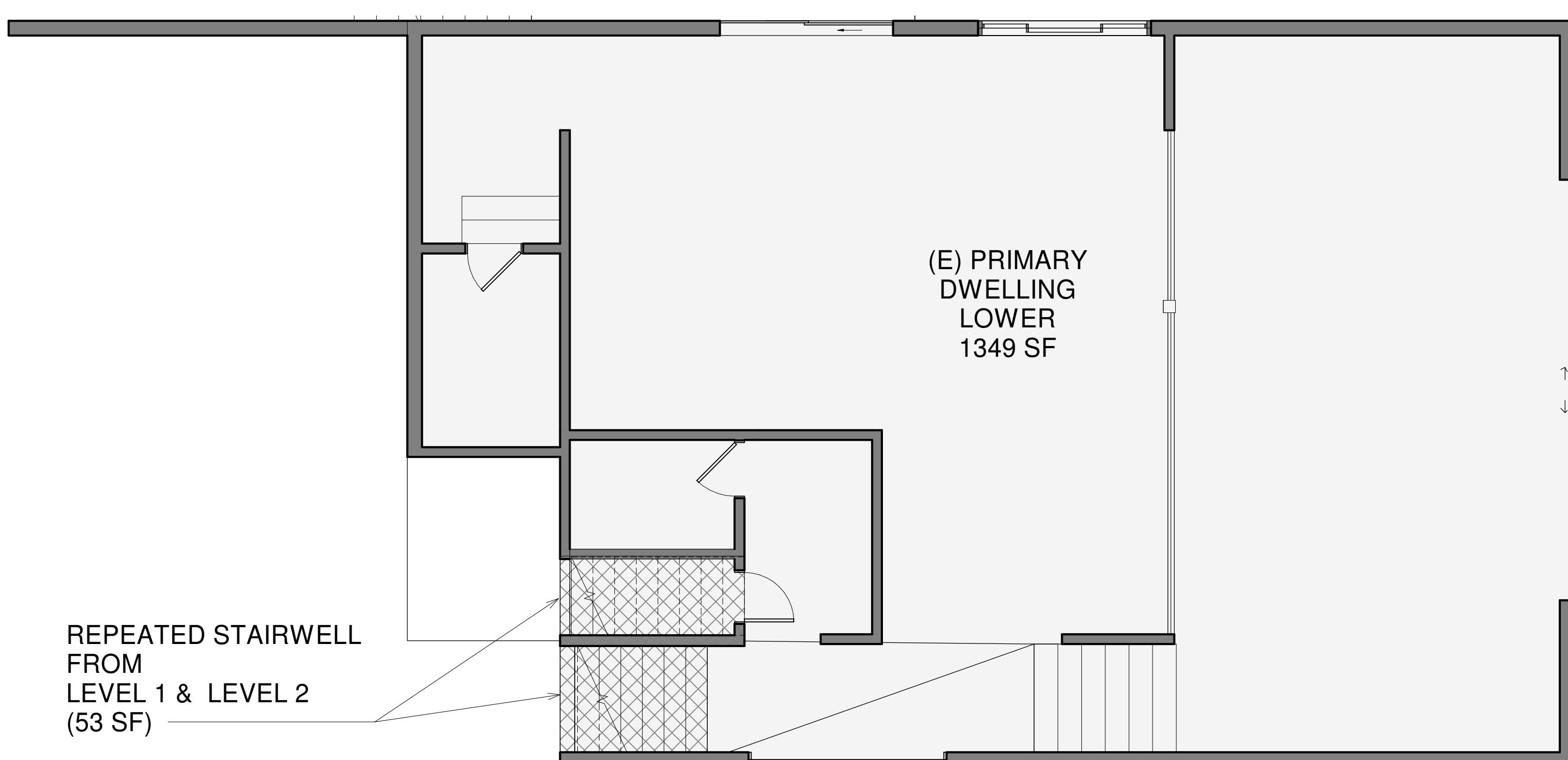
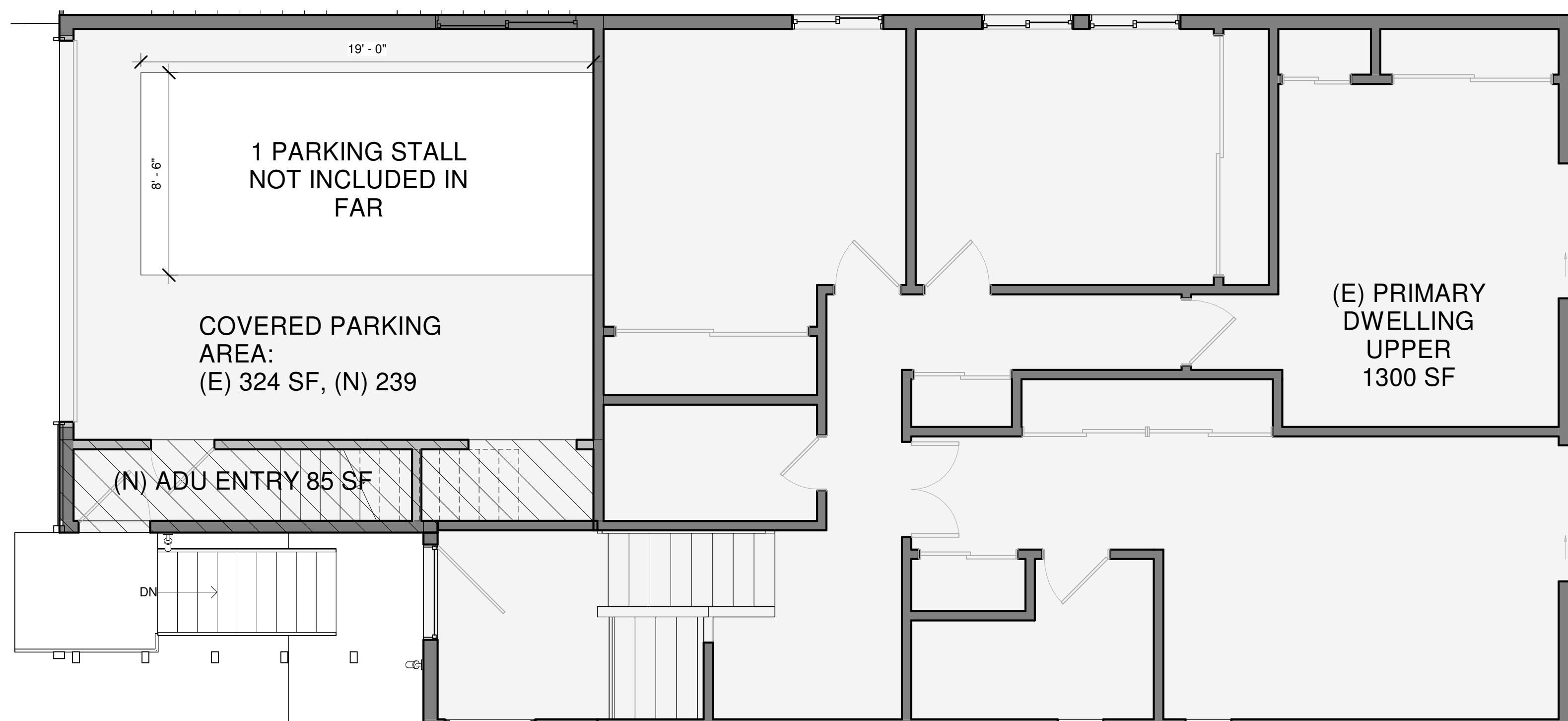
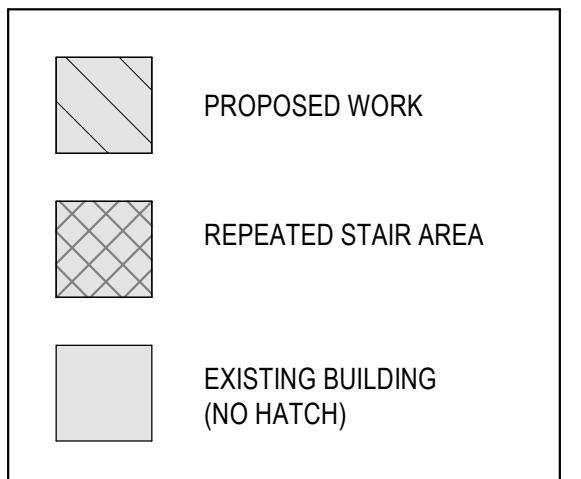
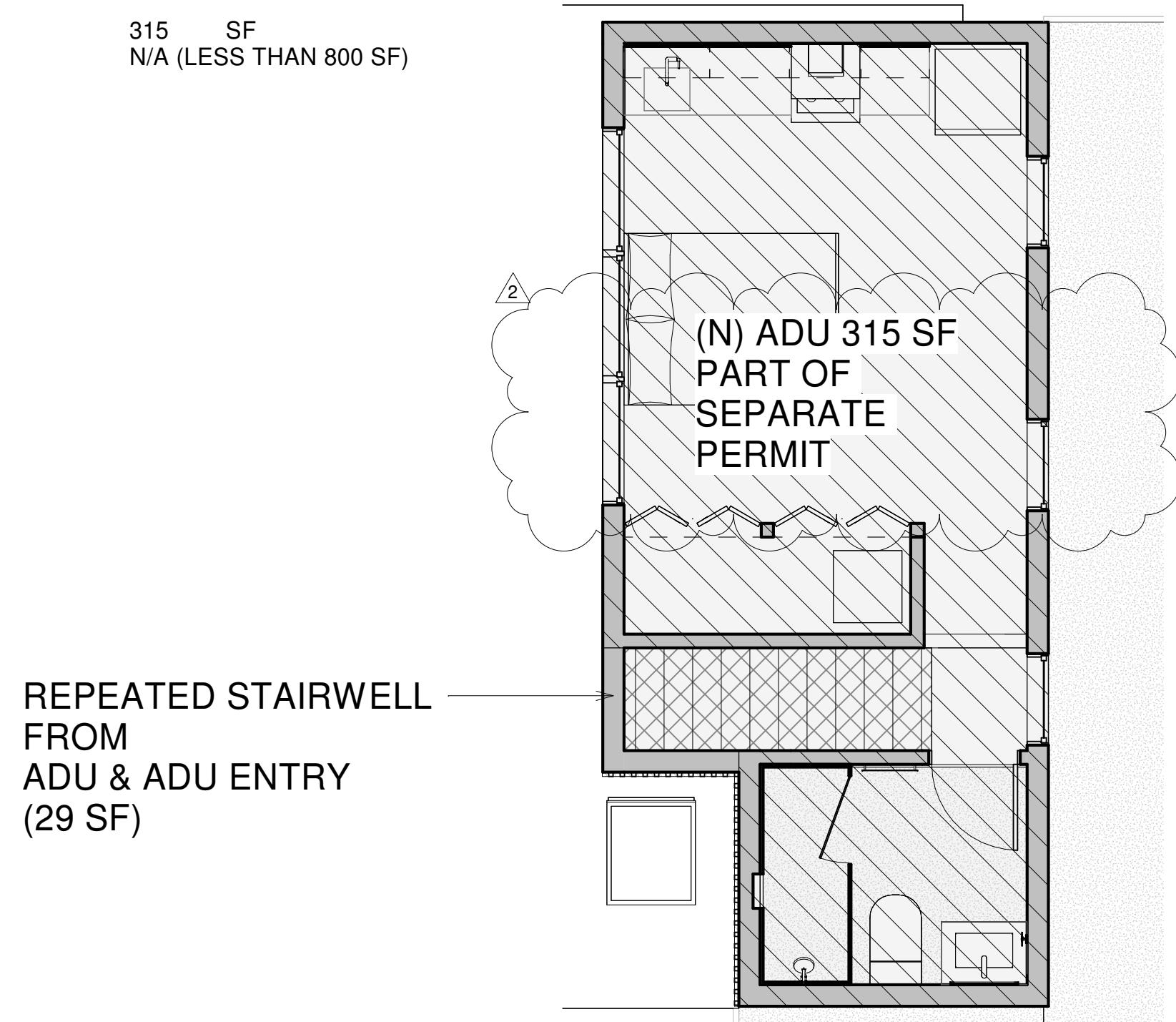
PROPOSED FLOOR AREA CALCULATION

PRIMARY DWELLING

LOWER	1349 SF
MAIN	1309 SF
COVERED PARKING	239 SF
ADU ENTRY	85 SF
TOTAL	2982 SF
FAR	2982 / 3999 = 0.75

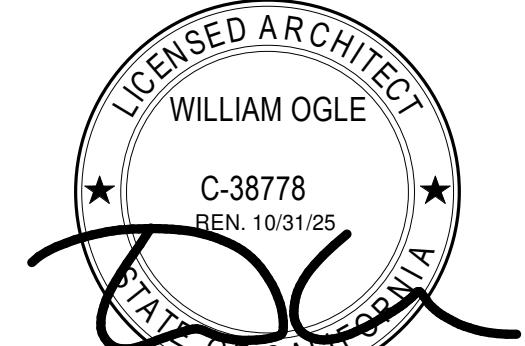
ADU

MAIN FLOOR	315 SF
FAR	N/A (LESS THAN 800 SF)



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CITY STAMPING AREA

SCALE As indicated

AREA & FAR DIAGRAMS

A1.2

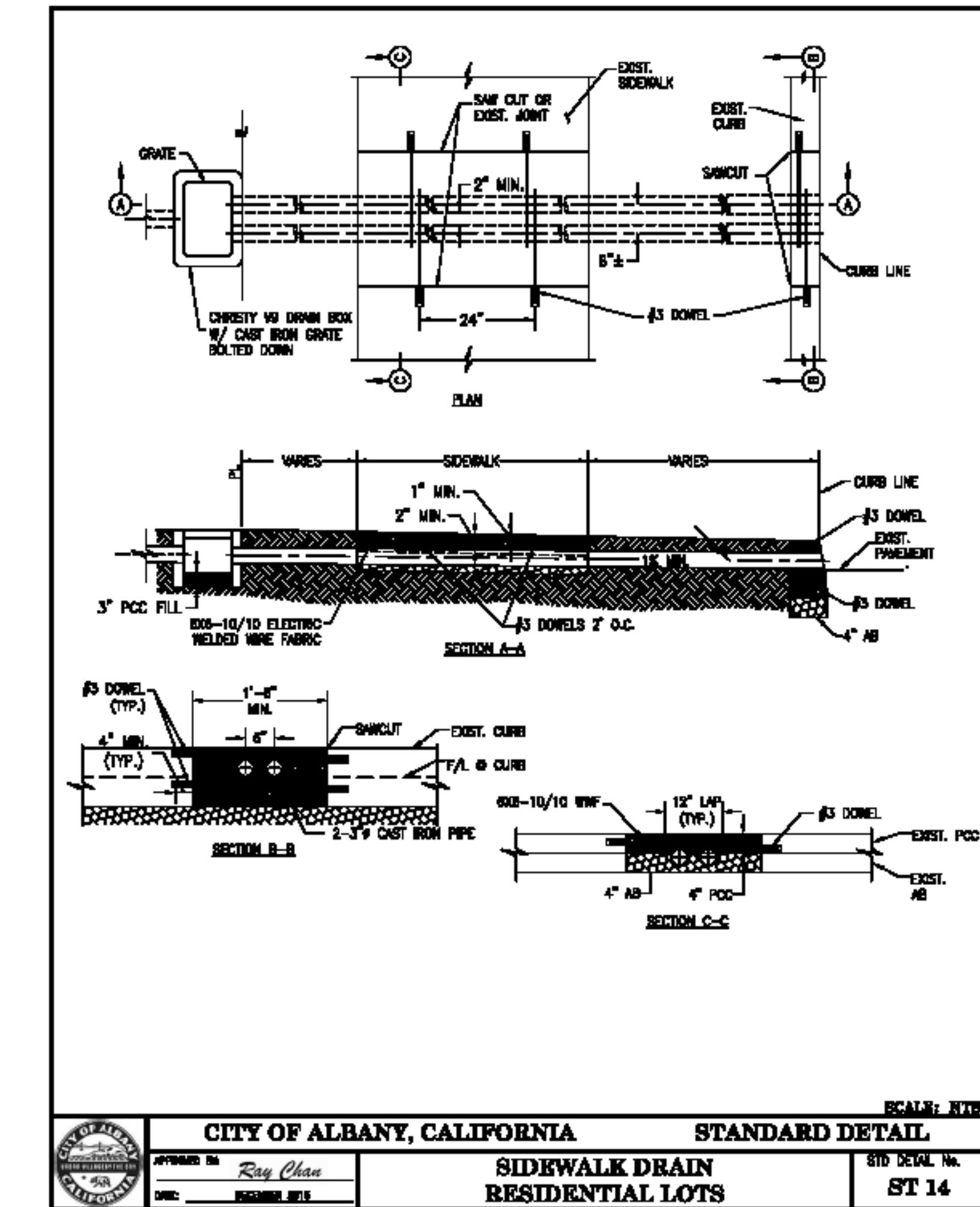
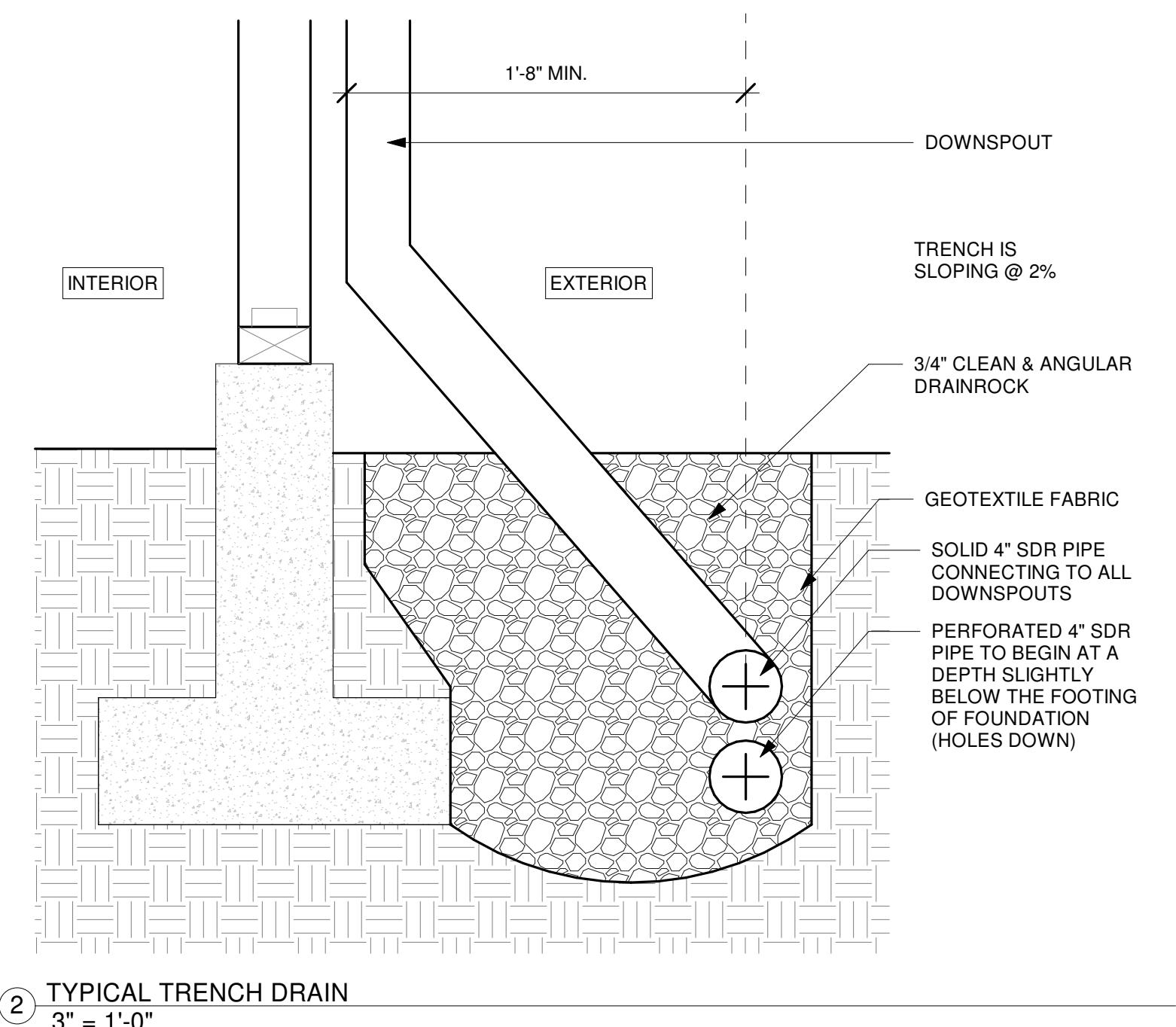
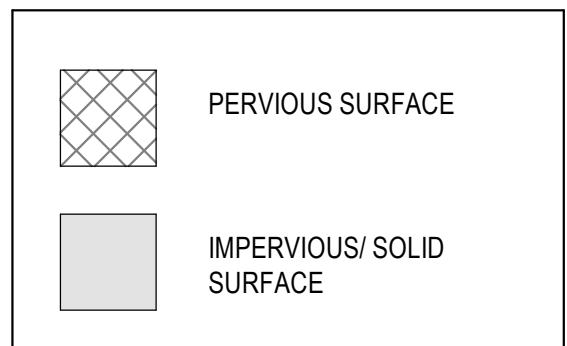
IMPERVIOUS SURFACE CALCULATIONS:

TOTAL PROPERTY AREA: 4,000 SF

<u>ADU & DWELLING UNIT FOOTPRINT:</u>	1,804 SF (NO CHANGE)- 45%
<u>IMPERVIOUS SURFACE:</u>	1,100 SF (NO CHANGE)- 27%
<u>PERVIOUS SURFACE LANDSCAPING:</u>	192 SF (NO CHANGE)- 4%
<u>LANDSCAPE:</u>	904 SF (NO CHANGE)- 22%

NOTE: ADDITION OF ADU DOES NOT INVOLVE ANY CHANGES OR WORK TO THE LANDSCAPING OR DRAINAGE OF THE EXISTING LOT.

NO SIGNIFICANT AMOUNT OF ADDITIONAL ROOF SURFACE HAS BEEN CREATED BY THE SCOPE OF WORK FOR THR PROJECT.



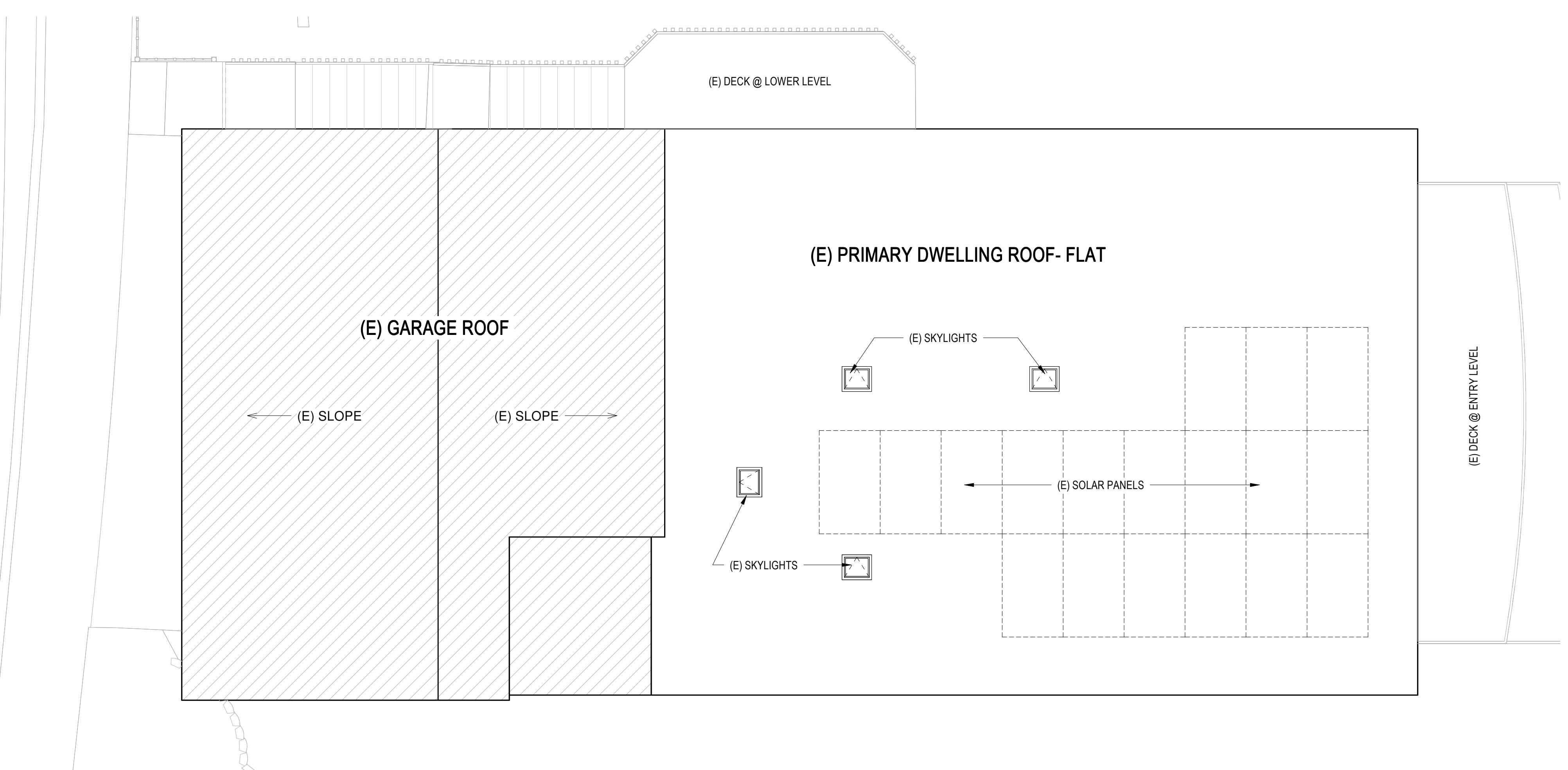
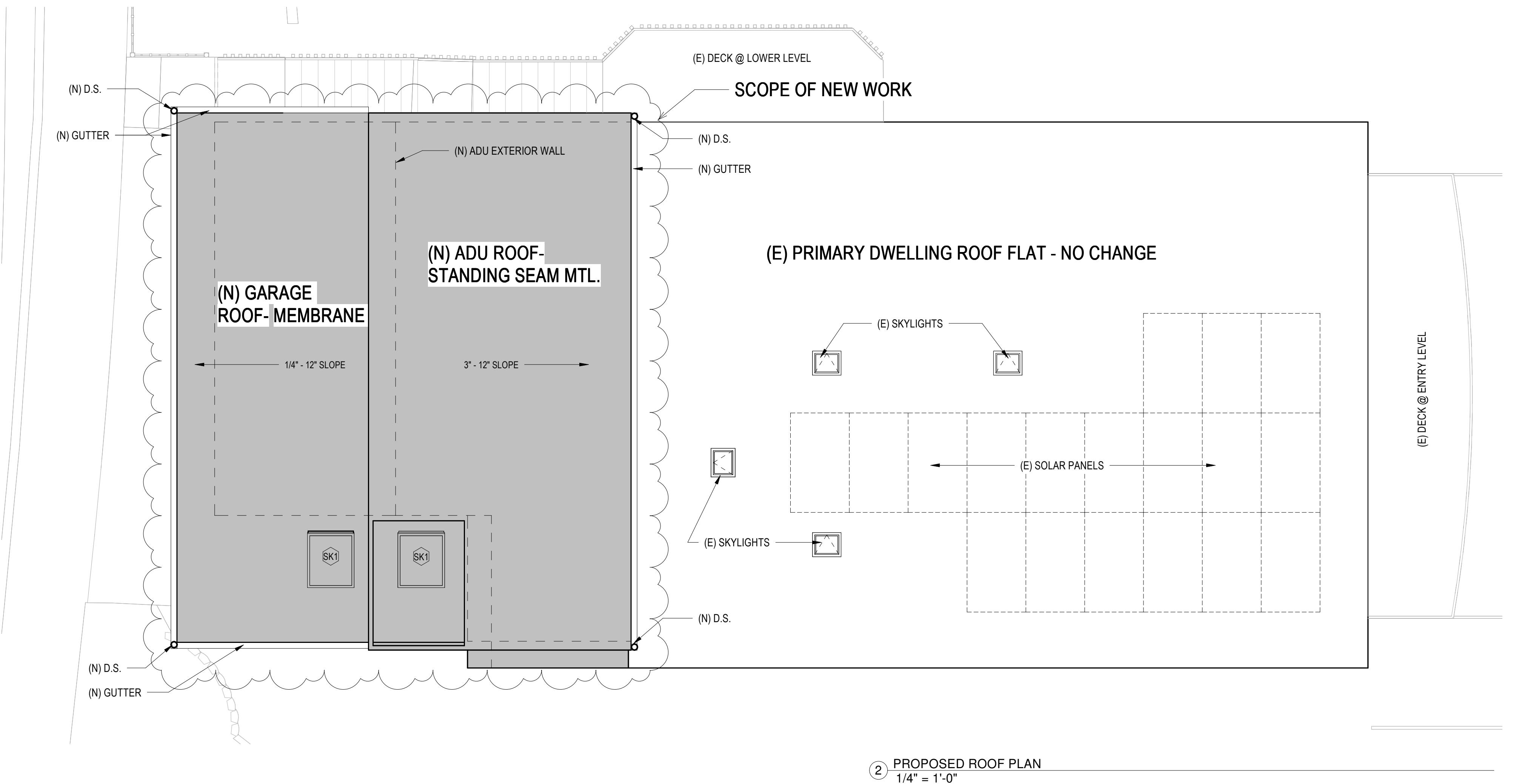
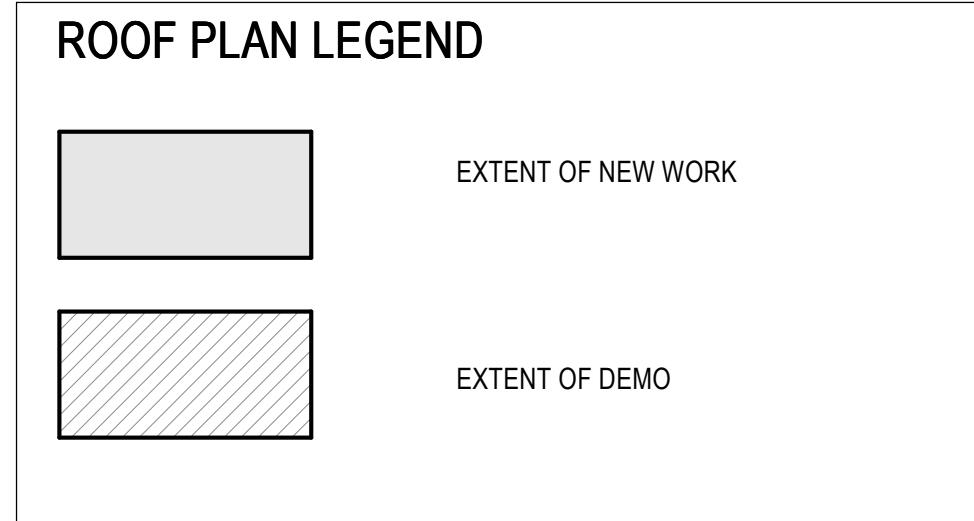
This architectural site plan illustrates the layout of a property with various construction details and slope specifications. The plan includes the following key features and annotations:

- Property Lines:** The property is bounded by several lines, including a dashed line for the "PROP. LINE" and a solid line for the "CITY STANDARD PLAN & ZONING ST-14, FOR SIDEWALK IN ON RESIDENTIAL LOTS".
- Building Footprint:** The "E BUILDING FOOTPRINT" is shown as a shaded area.
- Construction Details:**
 - SIDEWALK:** Located on the left side of the property.
 - 4" SOLID PIPE UNDERGROUND:** A pipe line is shown running along the property line.
 - RE-USE EXISTING DOWN SPOUT LOCATION:** Down spout locations are marked on the property line.
 - (N) D.S. (E) LOCATION:** A location for a drain system is marked.
 - (N) ROOF ABOVE:** A shaded area representing the roof of the building.
 - EXTENT OF NEW CONSTRUCTION, WITHIN EXISTING FOOTPRINT:** The area of new construction within the existing footprint is indicated.
 - (E) WD. RETAINING WALL:** A retaining wall is shown along the property line.
 - (E) D.S.:** Drainage system locations are marked along the property line.
 - (E) CONC. BLOCK WALL:** A concrete block wall is shown.
 - (E) HOT TUB:** A hot tub is located in the rear yard.
 - (E) WD. DECK:** A wooden deck is shown.
 - (E) 6' WD. FENCE TO REMAIN:** A 6' wide fence is to remain.
 - (E) 1' W. WD. FENCE TO REMAIN:** A 1' wide fence is to remain.
- Slope Specifications:** Various slope percentages are indicated:
 - 48% SLOPE
 - 26% SLOPE
 - 30% SLOPE
 - 20% SLOPE
 - 18% SLOPE
 - 20% SLOPE
 - 5% SLOPE
 - 10% SLOPE
 - 23% SLOPE
 - 32% SLOPE
 - 21% SLOPE
 - 63% SLOPE
 - 82% SLOPE
- Prop Lines:** Prop lines are marked with dashed lines and labeled "PROP. LINE" multiple times.

SCAI E As indicated

CIVIL DRAINAGE PLAN

A1.3



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No.	Description	Date
1	PERMIT SET	09/26/2025

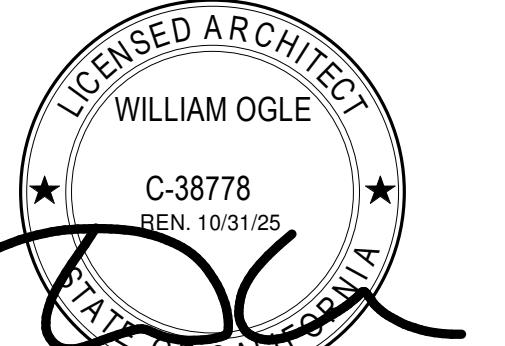
CITY STAMPING AREA
SCALE As indicated

ROOF PLANS

A1.4

882 HILLSIDE ADU

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94706



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No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA
SCALE As indicated

PLANS (EXISTING & DEMO)

A2.0

CONSTRUCTION AND DEMOLITION:

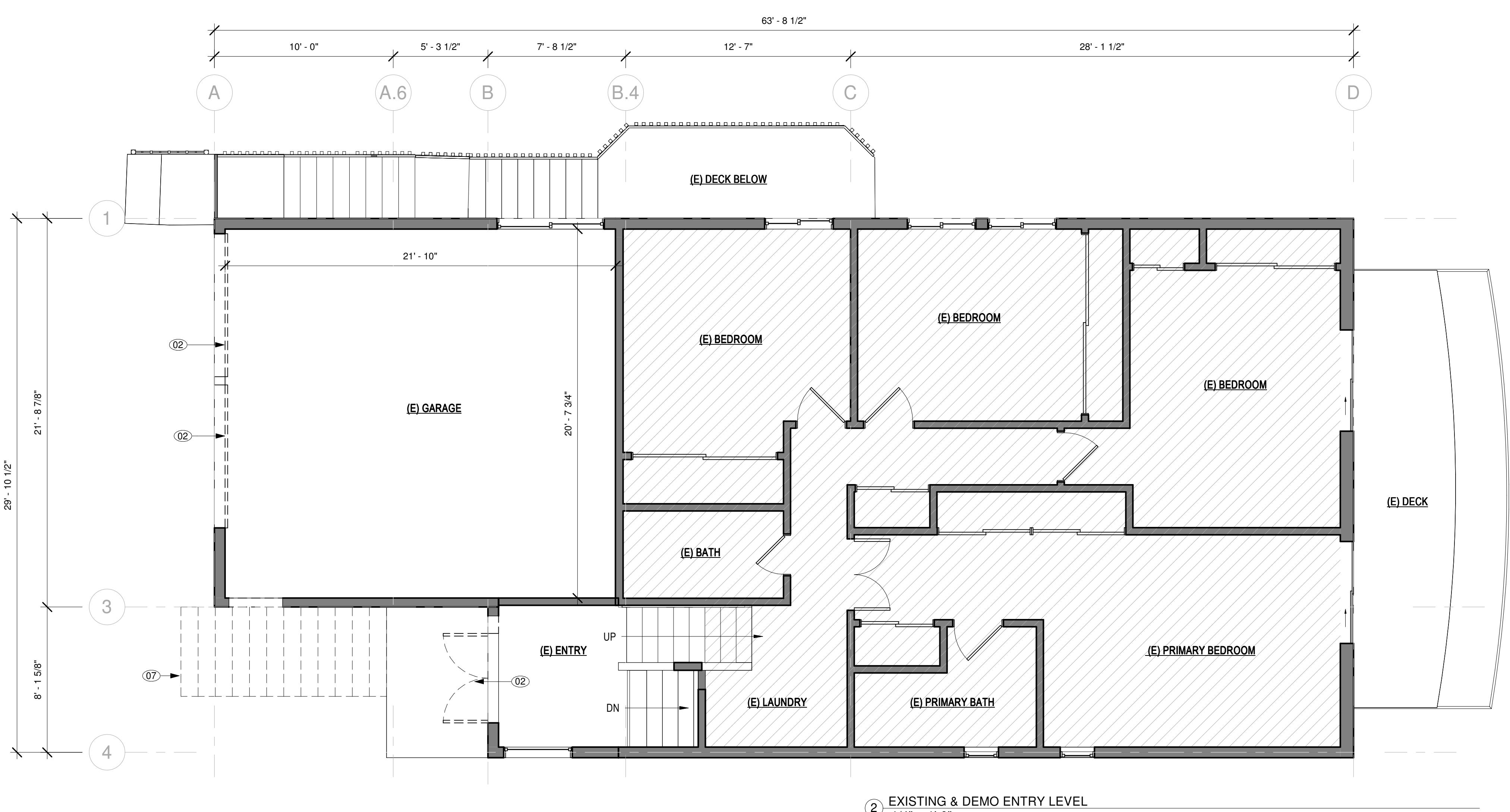
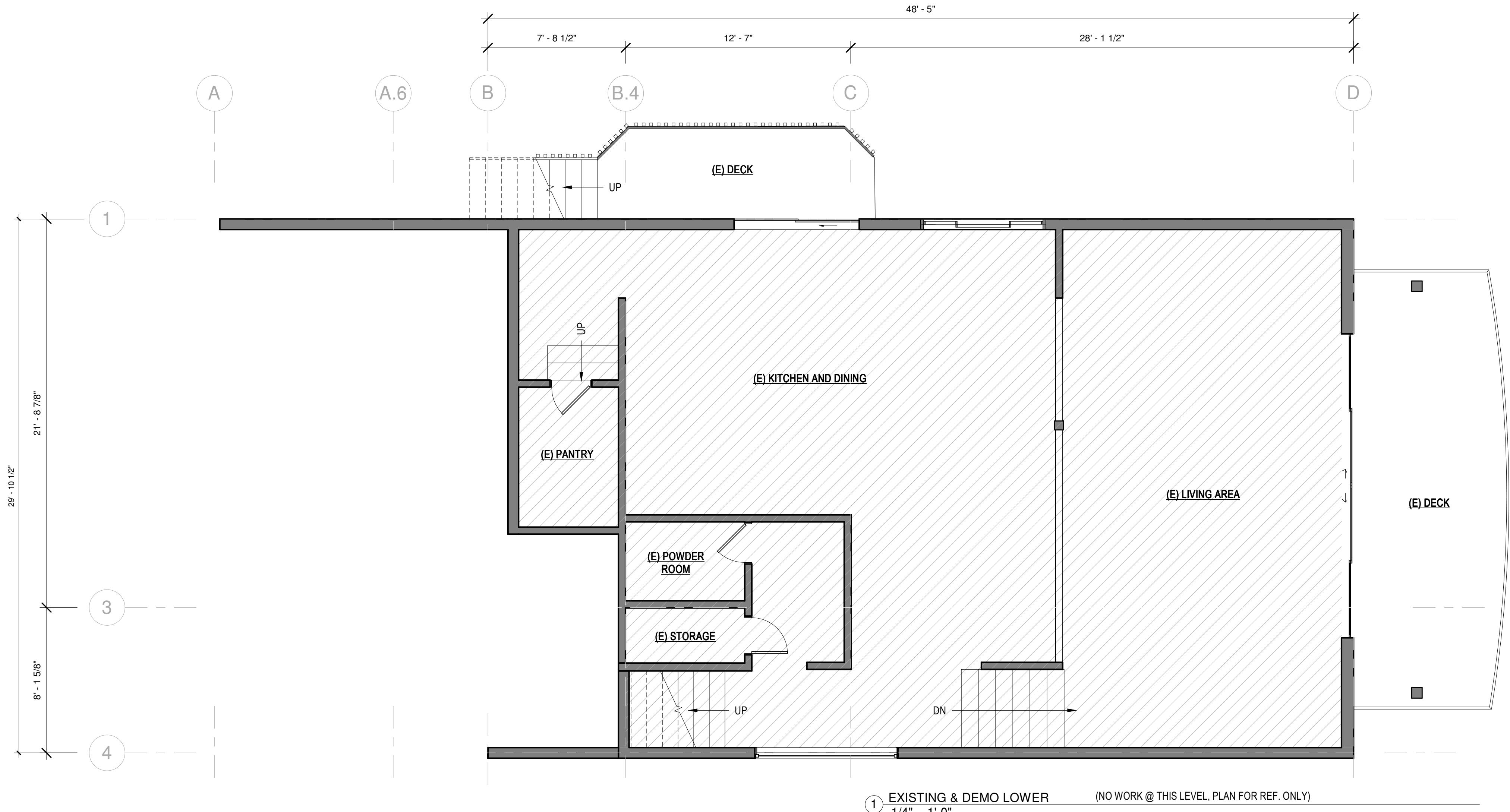
1. DURING CONSTRUCTION AND DEMOLITION, ALL DEBRIS MUST BE REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED HAULER, REPUBLIC SERVICES, USING THEIR DEBRIS BOX SERVICE. NO OTHER ENTITY IS AUTHORIZED TO COLLECT OR TRANSPORT MATERIAL GENERATED WITHIN FREMONT. THERE IS AN EXCEPTION FOR DEBRIS BOXES CONTAINING ONLY SEPARATED SOIL, CONCRETE OR ASPHALT.
2. ALTERNATELY, THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE MATERIALS FROM THE JOBSITE, USING THEIR OWN EQUIPMENT, VEHICLES AND EMPLOYEES, AS AN INCIDENTAL PART OF A TOTAL CONSTRUCTION SERVICE OFFERED BY THAT CONTRACTOR. CONTRACTORS WHO SELF-HAUL DEBRIS IN THEIR OWN VEHICLES MUST DELIVER THE MATERIAL TO AN APPROVED RECYCLING FACILITY.
3. LOADS OF SEPARATED RECYCLABLE MATERIALS (ONLY SOIL, ASPHALT OR CONCRETE) CANNOT CONTAIN MORE THAN 10% GARBAGE OR OTHER NON-RECYCLABLE MATERIAL BY WEIGHT OR VOLUME.
4. PLANT AND TREE DEBRIS MUST BE SEPARATED FROM OTHER WASTE. THE ALAMEDA COUNTY WASTE MANAGEMENT AUTHORITY'S ACWMA PLANT DEBRIS LANDFILL BAN ORDINANCE ACWMA ORD. NO. 2008-01 REQUIRES ALL PLANT AND TREE DEBRIS TO BE SEPARATED AND RECYCLED.
5. DURING CONSTRUCTION, 100% OF THE ASPHALT AND CONCRETE MUST BE REUSED OR RECYCLED, AND 65% OF THE REMAINING DEBRIS MUST BE REUSED OR RECYCLED. APPLICANT MUST SAVE ALL WEIGHT TAGS/RECEIPTS FROM DISPOSAL AND RECYCLING TO TURN IN AT THE COMPLETION OF THE PROJECT.
6. THE APPLICANT MUST SUBMIT A FREMONT WASTE HANDLING PLAN. THE WASTE HANDLING PLAN MUST: A) PROVIDE AN ESTIMATE OF TYPE OF DEBRIS GENERATED
B) LIST THE NAMES OF THE APPROVED RECYCLING FACILITIES THAT WILL BE USED
C) INDICATE THAT 65% OF THE MATERIAL WILL BE RECYCLED D) BE DISTRIBUTED TO ALL SUBCONTRACTORS ON THE JOB. APPLICANTS MAY SUBMIT THE PLAN ELECTRONICALLY AT WWW.FREMONT.WASTETRACKING.COM.
7. ALL DISPOSAL AND RECYCLING RECEIPTS MUST OFFICIALLY LIST FREMONT AS THE CITY OF ORIGIN TO BE COUNTED TOWARD THE DIVERSION REQUIREMENT.
8. PRIOR TO THE FINAL INSPECTION, THE APPLICANT MUST FILE A DEBRIS DISPOSAL & DIVERSION REPORT DOCUMENTING ACTUAL TONS OF DEBRIS RECYCLED, ALONG WITH ALL DISPOSAL RECEIPTS OR WEIGHT TAGS FROM THE PROJECT. ALLOW THREE 3 BUSINESS DAYS FOR REVIEW OF THE DEBRIS DISPOSAL REPORT ELECTRONICALLY AT WWW.FREMONT.WASTETRACKING.COM.

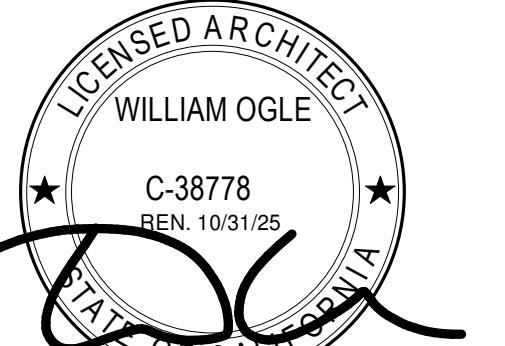
THE WASTE HANDLING PLAN MUST:

- A) PROVIDE AN ESTIMATE OF TYPE OF DEBRIS GENERATED
- B) LIST THE NAMES OF THE APPROVED RECYCLING FACILITIES THAT WILL BE USED
- C) INDICATE THAT 65% OF THE MATERIAL WILL BE RECYCLED D) BE DISTRIBUTED TO ALL SUBCONTRACTORS ON THE JOB. FOR A WASTE HANDLING PLAN TO BE CONSIDERED COMPLETE, YOU MUST FILL IN THE PROJECT INFORMATION, TRANSPORTATION METHOD, EXPECTED MATERIAL GENERATED, EXPECTED FACILITY USED AND HIT THE SUBMIT FOR APPROVAL BUTTON.

KEYNOTE LEGEND	
#	DESCRIPTION
02	DEMOLISH (E) DOOR/ WINDOW & FRAME
07	DEMOLISH (E) STAIR/ RAILING/ HANDRAILING

FLOOR PLAN LEGEND	
-----	DEMOLISHED WALLS
=====	PROPOSED WALLS
=====	EXISTING WALLS
=====	1 HR FIRE RATED WALL
=====	NOT IN PROJECT SCOPE





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CITY STAMPING AREA

SCALE As indicated

PLANS (PROPOSED)

A2.1

NOTES: GENERAL FLOOR PLAN

1. ALL (N) WALLS TYPE "1W" U.O.N. SEE WALL SCHEDULE

2. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.

3. DOORS NOT LOCATED BY DIMENSION SHALL BE LOCATED WITH 4" JAMB, U.O.N.

4. PROVIDE MINIMUM INSULATION SPECIFIED IN ENERGY REPORT IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED WHEN WALL CAVITY IS EXPOSED EXCEPT IN FRONT OF CONCRETE BASEMENT PONY WALL.

5. PROVIDE VAPOR BARRIER AND BACKERBOARD FOR WET AREAS TO RECEIVE TILE FINISH. PROVIDE GREEN BOARD AT ALL DAMP LOCATIONS AND PLUMBING WALLS.

TABLE 2509.2 BACKERBOARD MATERIALS:
CBC 2509.2 GLASS MATT GYPSUM BACKING PANEL (ASTM C1178);
NONASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1288 OR ISO 8336, CATEGORY C); NONASBESTOS FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNIT (ASTM1325)

6. WOOD LOCATED NEARER THAN 8" TO EARTH SHALL BE PRESSURE TREATED WOOD.

7. ALL TOILETS AND SINKS TO HAVE A MINIMUM CLEARANCE OF 15" ON EITHER SIDE AND MIN. 24" IN FRONT

8. HOT WATER HEATER, FURNACE, DRYER, FANS AND ALL EQUIPMENT REQUIRING SO SHALL HAVE VENTILATION TO THE OUTSIDE AS PER THE MANUFACTURERS SPECIFICATIONS AND LOCAL CODE, MIN. 36" FROM OPERABLE OPENINGS

9. IF WATER DAMAGE DISCOVERED, CORRECT AT SOURCE PRIOR TO PROCEEDING WITH TYPICAL MEANS & METHODS OF CONSTRUCTION.

10. PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH.

11. ALL (N) TOILETS SHALL HAVE MAX 1.28 GALLON/FLUSH, (N) FAUCETS TO HAVE A MAX FLOW OF 1.2 GPM AND (N) KITCHEN FAUCETS A MAX FLOW OF 1.8 GPM. (N) SHOWER HEAD TO HAVE A MAX FLOW OF 1.8 GPM. WHEN THERE ARE 2 SHOWERHEADS A DIVERTER MUST BE PROVIDED OR A TWO VALVES.

12. KITCHEN EXHAUST SYSTEM TO BE INSTALLED & OPERATE TO MEET ASHRAE 62.2 STANDARD. MIN ONE BATHROOM FAN TO RUN CONTINUOUSLY OR AUTOMATICALLY RUN INTERMITTENTLY PER ASHRAE 62.2. ALL OTHER BATHROOM FANS SHALL INCLUDE "ENERGY STAR" AND "HVI" LABELS. BATHROOM FAN OR FAN CONTROL SHALL BE CONTROLLED BY HUMIDISTAT CONTROL.

13. AT LEAST (1) ENTRY DOOR, (1) DOOR TO A BEDROOM AND (1) DOOR TO A BATHROOM ON THE ENTRY LEVEL SHALL PROVIDE A NET CLEAR OPENING OF NOT LESS THAN 32" (812.8MM) MEASURED WITH DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION, OR IN THE CASE OF SECOND OR THIRD FLOOR OF THE DWELLING IF A BATHROOM OR BEDROOM IS NOT LOCATED ON ENTRY LEVEL. PER CRC R327.1.3

14. AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT INSTALLED IN ACCORDANCE WITH CRC R327.1.1

15. ALL EXT. DOORS WILL BE PROVIDED WITH A FINISHED AND LEVEL LANDING EXTENDING THE CONTINUOUS WIDTH OF THE DOORWAY W/ A 7 3/4" MAX STEP DOWN FROM INTERIOR FINISHED FLOOR.

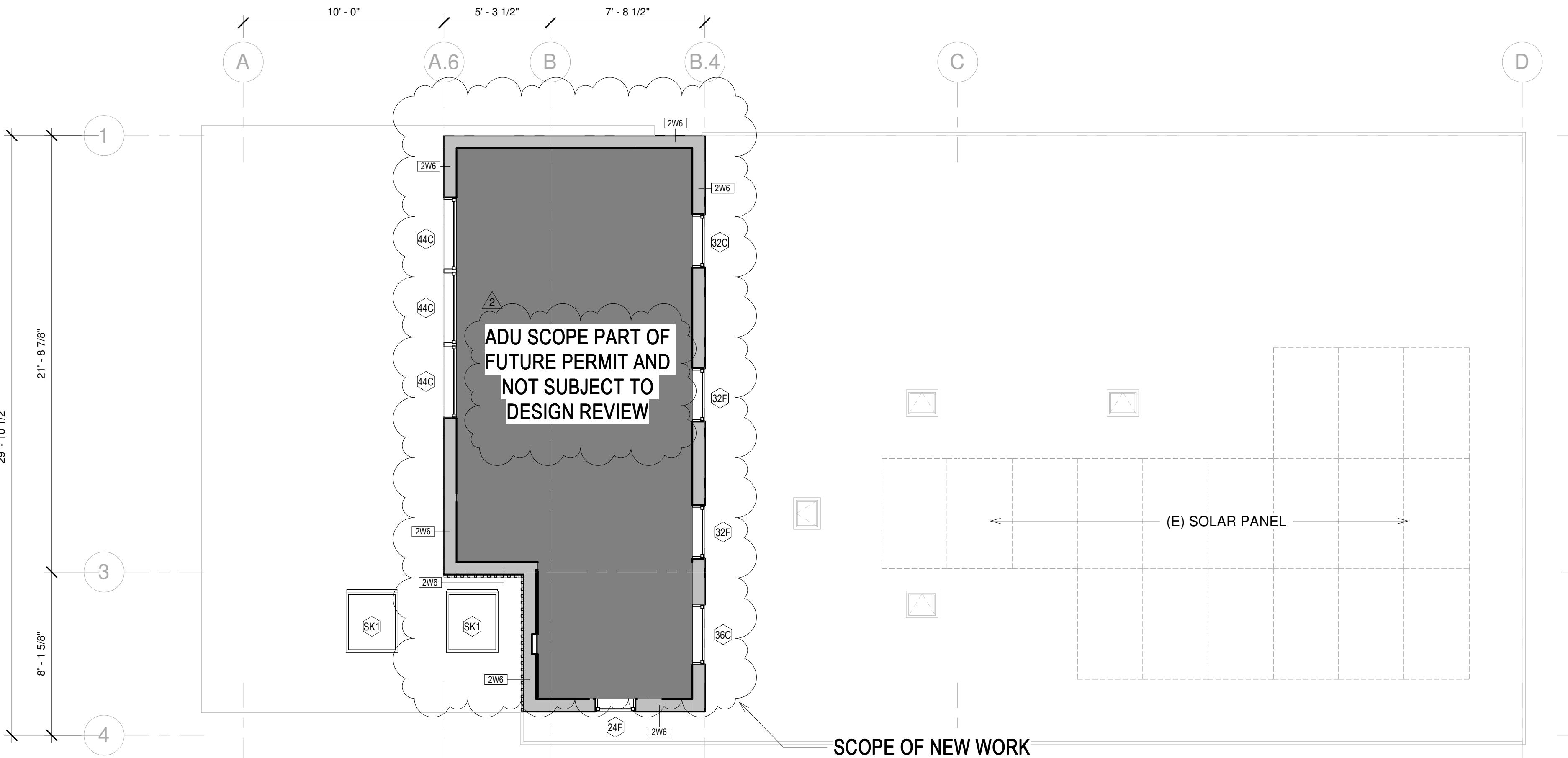
16. RODENT ROOFING ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, ETC SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS PER CGBSC SEC. 4.410.1

17. CONCRETE SLAB FOUNDATIONS ARE REQUIRED TO HAVE VAPOR RETARDER & CAPILLARY BREAK.

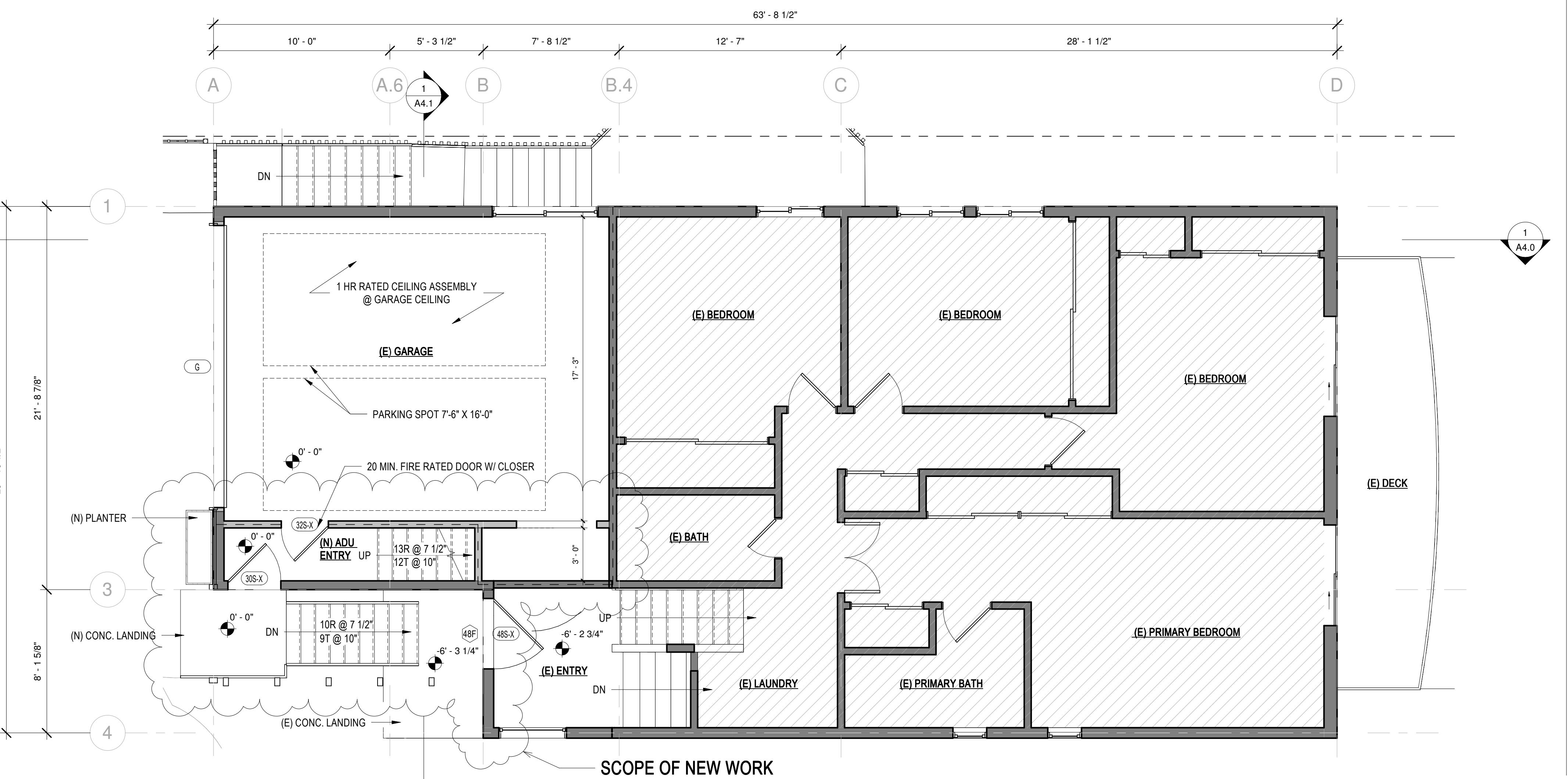
18. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL & FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEEDS 19% MOISTURE CONTENT.

KEYNOTE LEGEND	
#	DESCRIPTION

FLOOR PLAN LEGEND	
---	DEMOLISHED WALLS
=====	PROPOSED WALLS
=====	EXISTING WALLS
=====	1 HR FIRE RATED WALL
=====	NOT IN PROJECT SCOPE

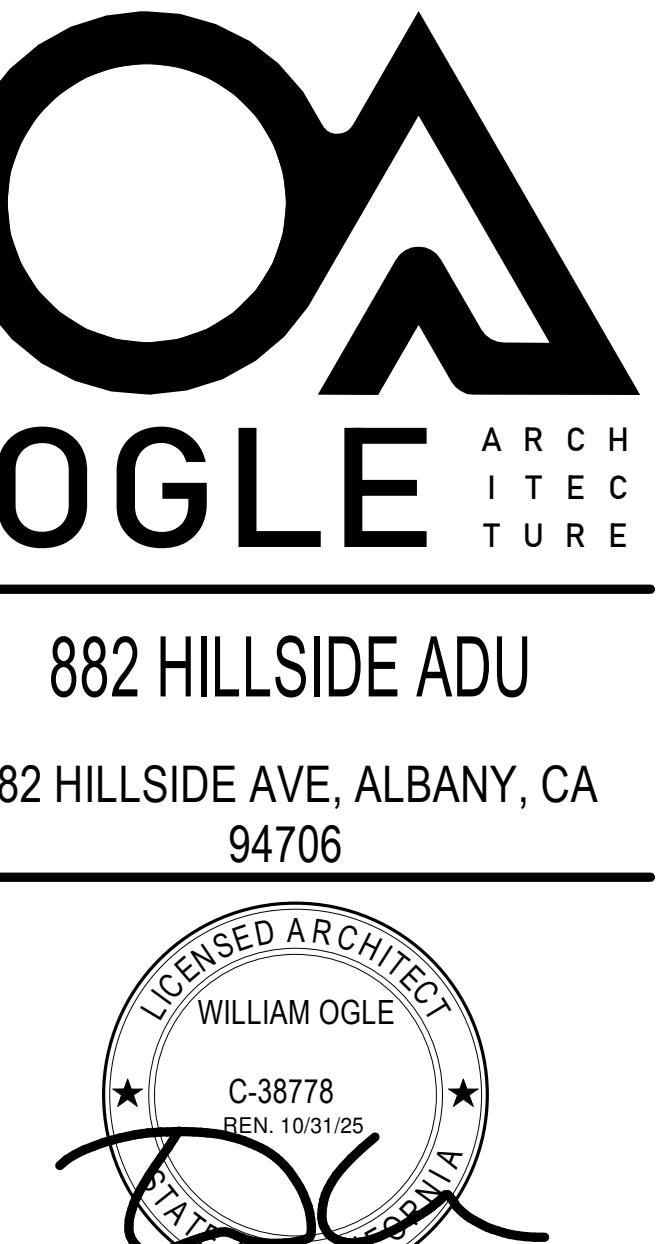


① PROPOSED ADU LEVEL
1/4" = 1'-0"



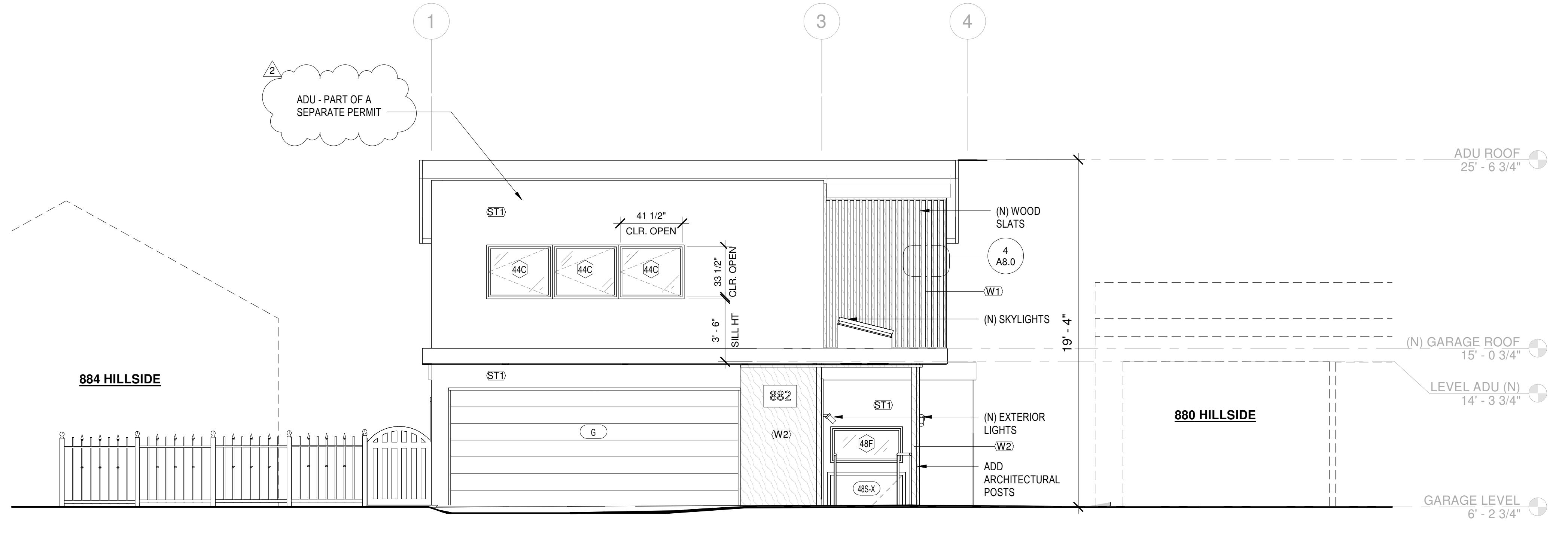
③ PROPOSED ENTRY LEVEL
1/4" = 1'-0"

FINISH LEGEND	
#	DESCRIPTION
R1	ROOF, COMPOSITE SHINGLES, SEE FINISH ADDENDUM
ST1	STUCCO FINISH, SEE FINISH ADDENDUM
W1	WOOD W/ STAIN TYPE 1, SEE FINISH ADDENDUM
W2	WOOD W/ STAIN TYPE 2, SEE FINISH ADDENDUM

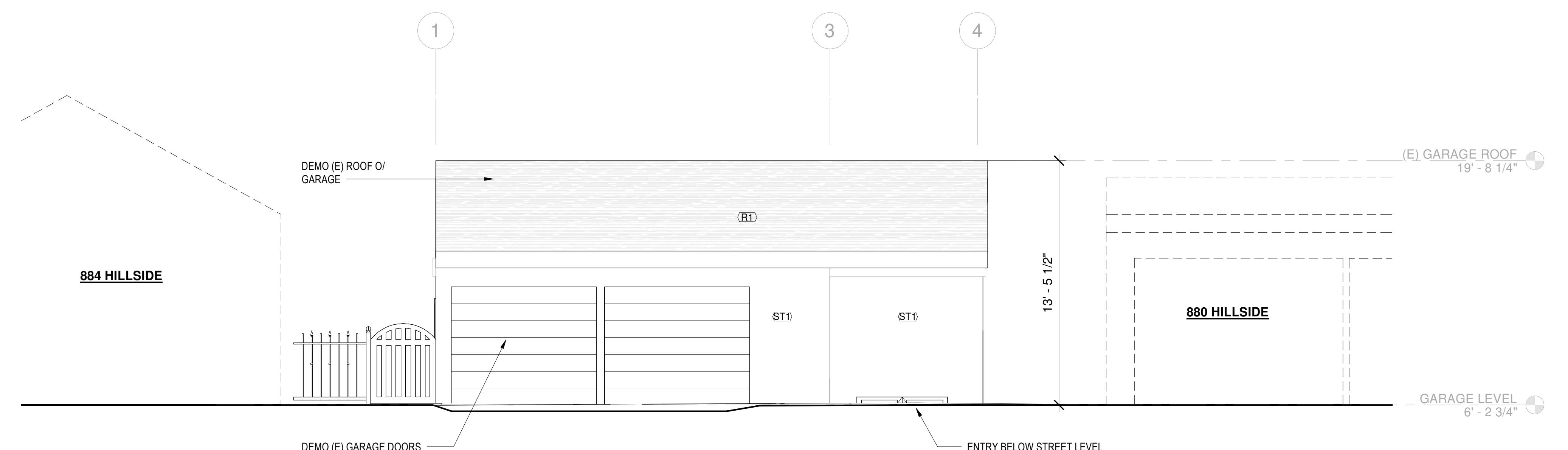


882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



② PROPOSED ELEVATION - EAST (FRONT)
1/4" = 1'-0"



① EXISTING ELEVATION - EAST (FRONT)
1/4" = 1'-0"

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

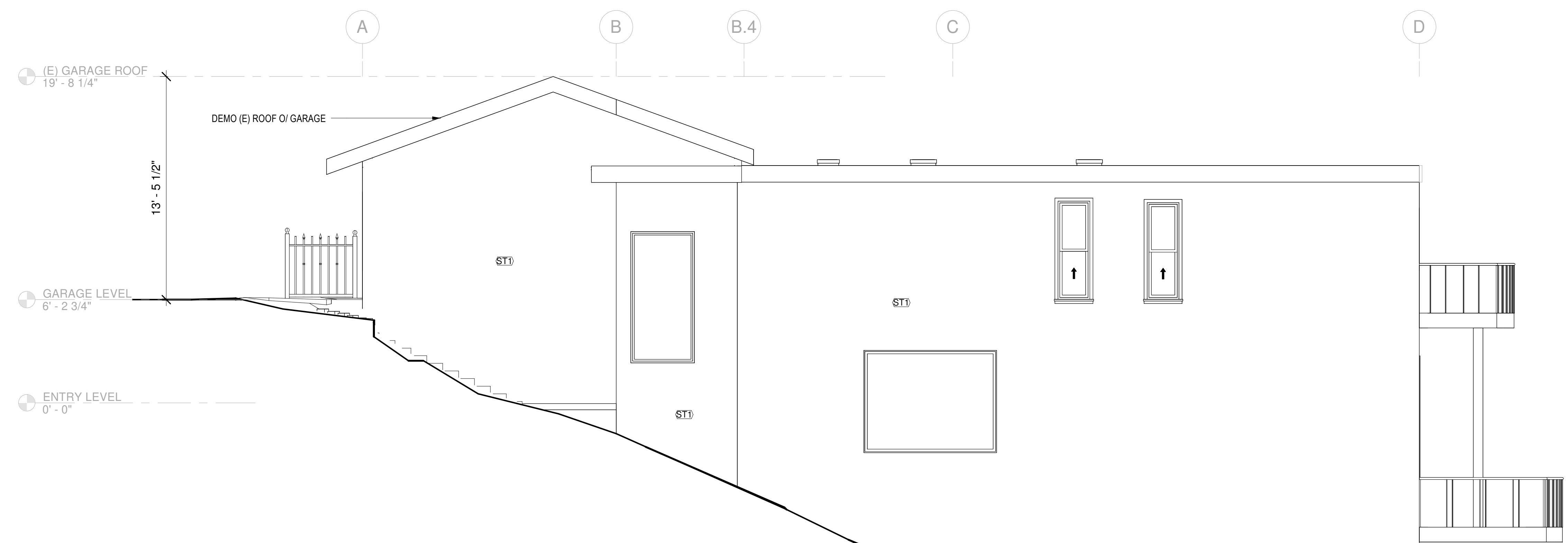
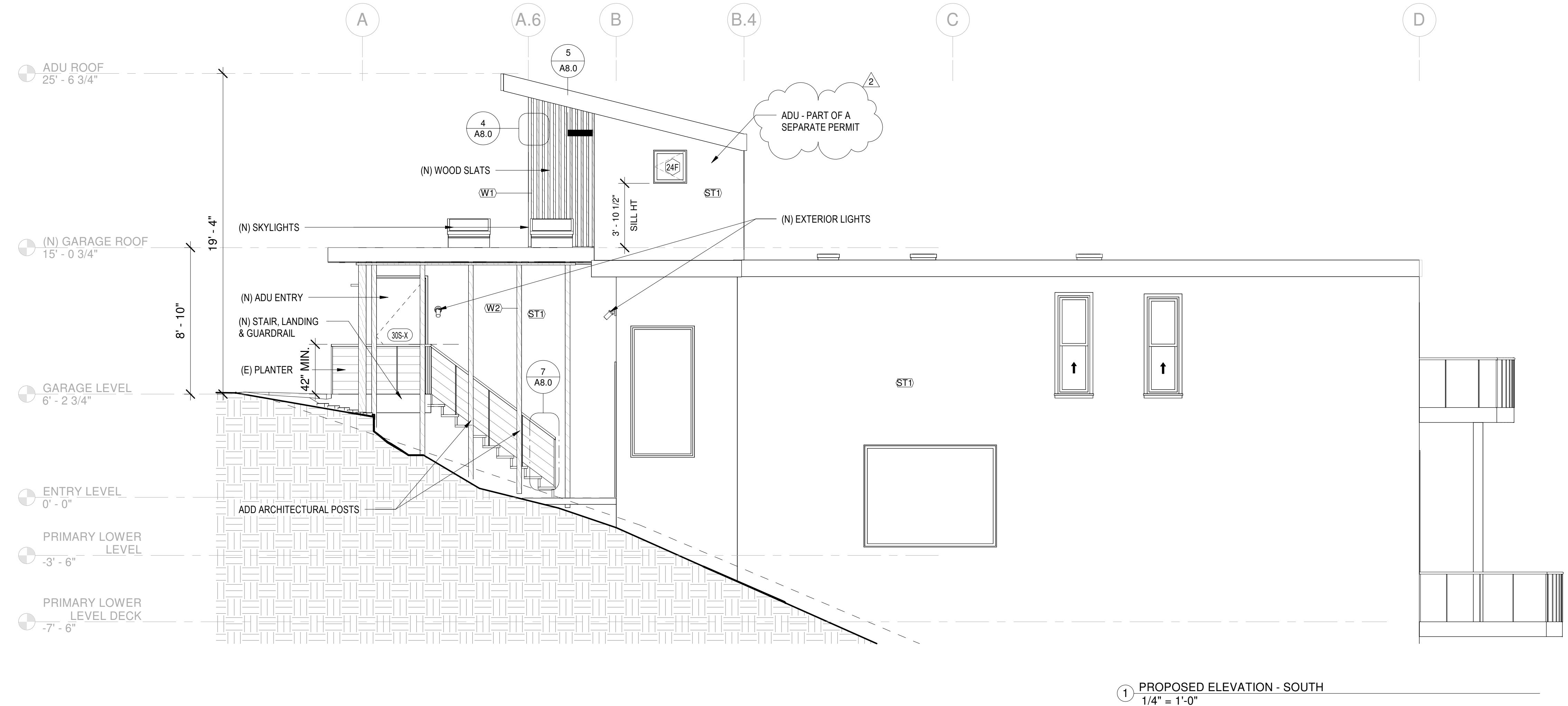
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

ELEVATIONS - EAST (FRONT)

A3.0

FINISH LEGEND	
#	DESCRIPTION
ST1	STUCCO FINISH, SEE FINISH ADDENDUM
W1	WOOD W/ STAIN TYPE 1, SEE FINISH ADDENDUM
W2	WOOD W/ STAIN TYPE 2, SEE FINISH ADDENDUM



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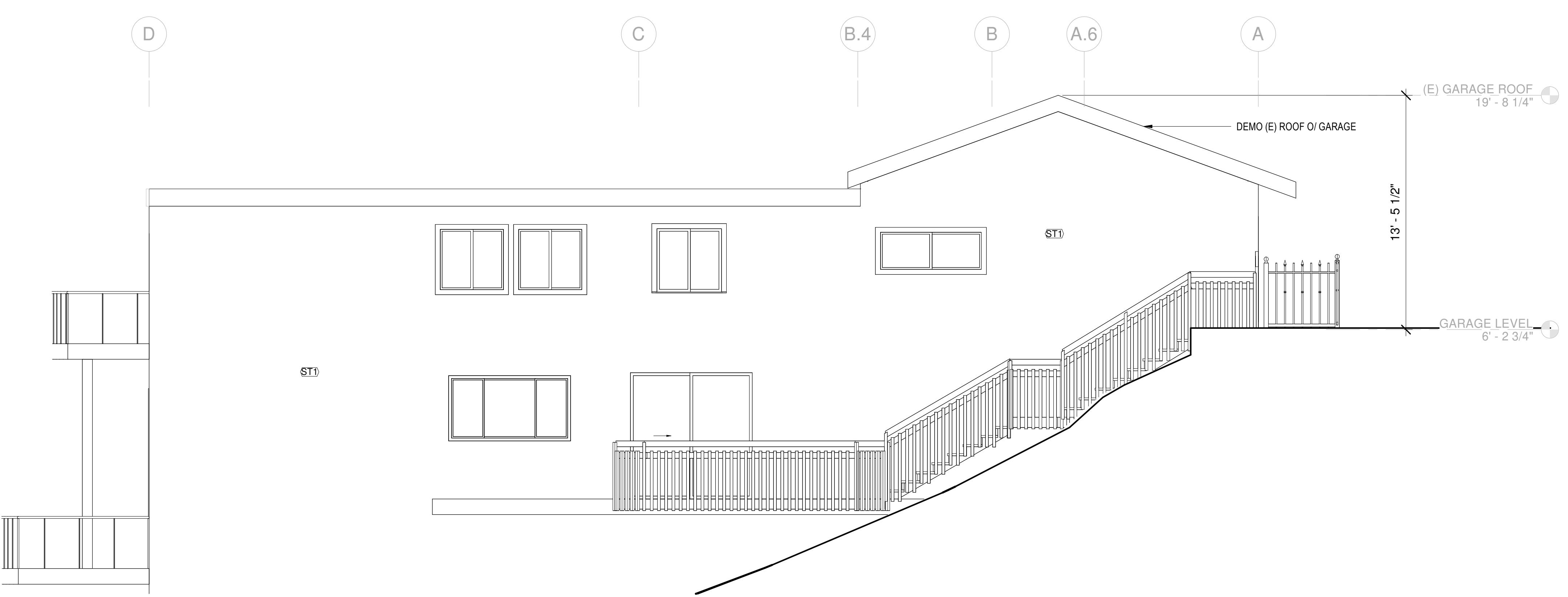
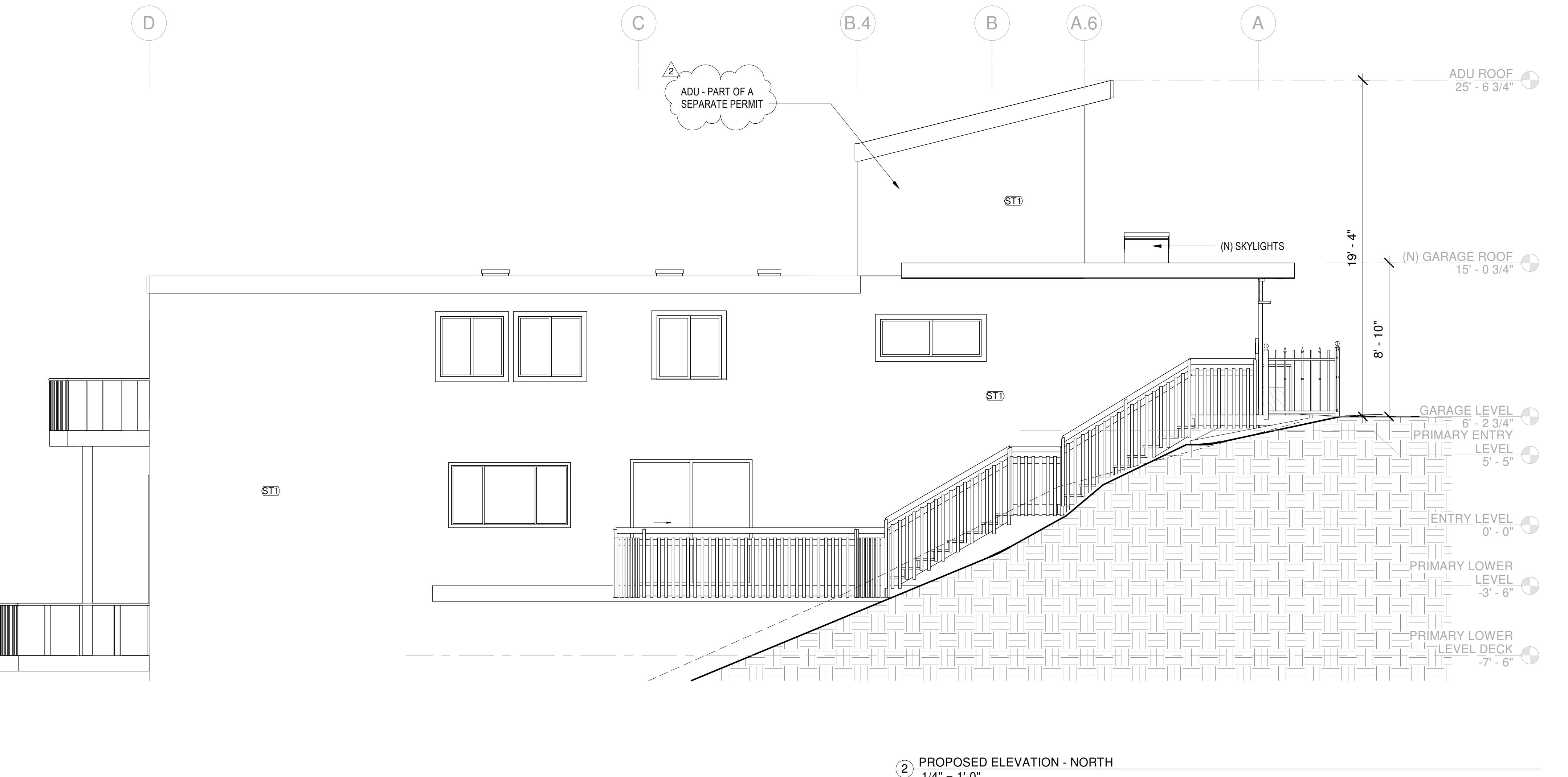
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

ELEVATIONS- SOUTH

A3.1

FINISH LEGEND	
#	DESCRIPTION
ST1	STUCCO FINISH, SEE FINISH ADDENDUM



1 EXISTING ELEVATION - NORTH
1/4" = 1'-0"



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o.	Description	Date
	PERMIT SET	09/26/2025
	PLANNING APPLICATION	11/26/2015

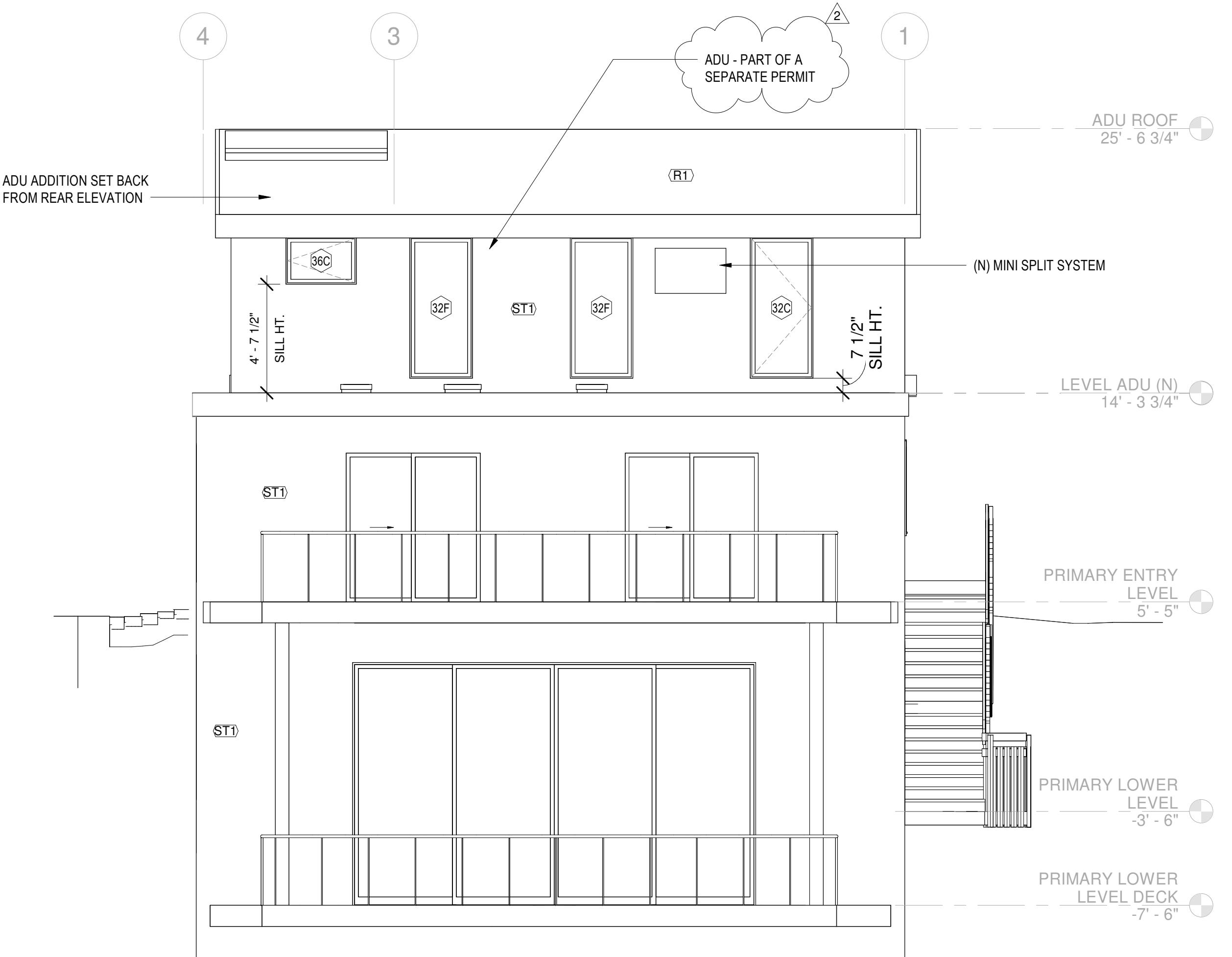
CITY STAMPING AREA

ALF 1/4" = 1' 0"

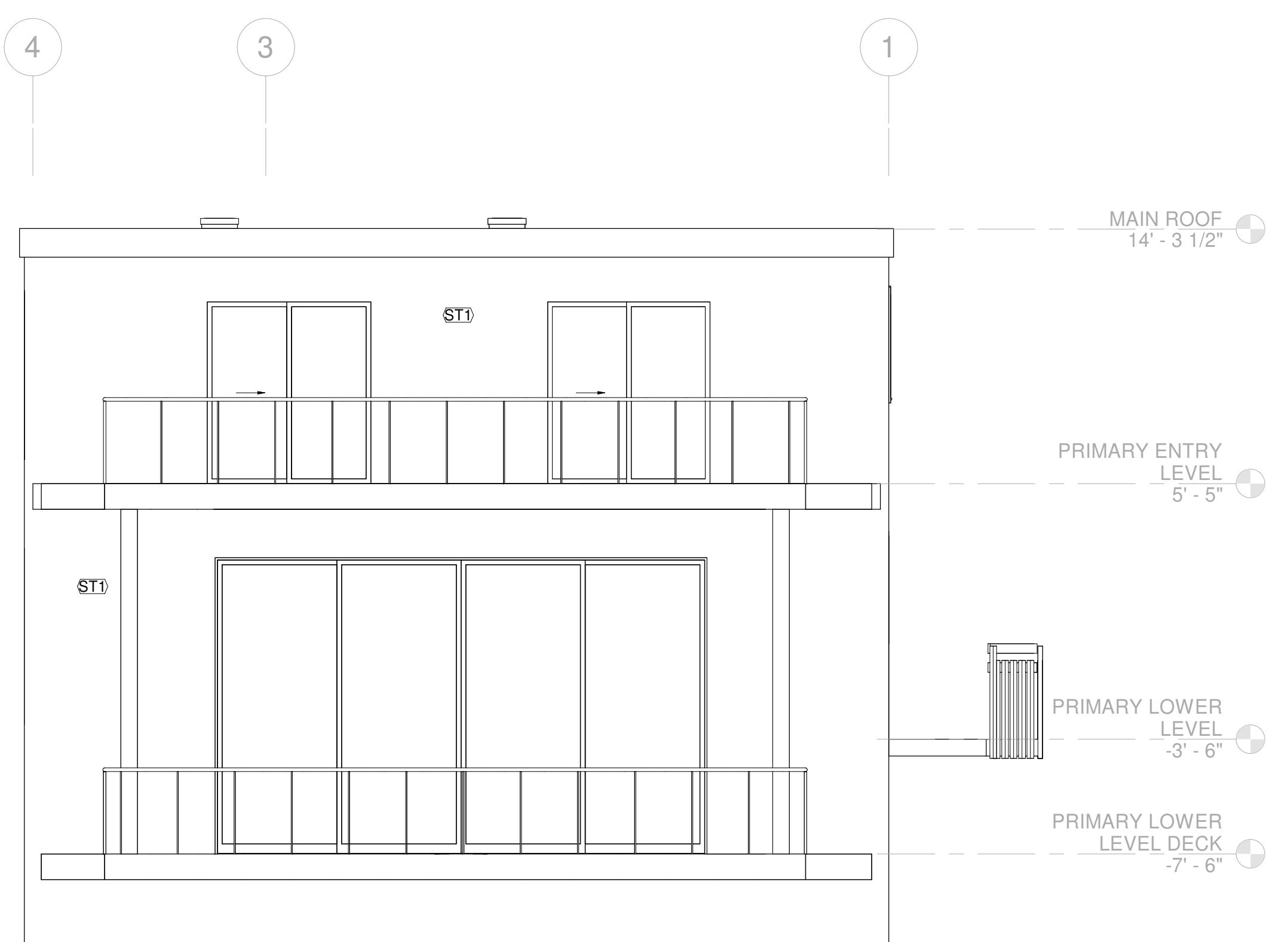
ELEVATIONS- NORTH

A3.2

FINISH LEGEND	
#	DESCRIPTION
R1	ROOF, COMPOSITE SHINGLES, SEE FINISH ADDENDUM
ST1	STUCCO FINISH, SEE FINISH ADDENDUM



2 PROPOSED ELEVATION - WEST (BACK)



1 EXISTING ELEVATION - WEST (BACK)
1/4" = 1'-0"



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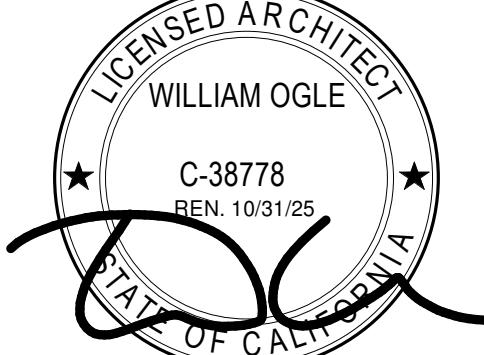
SEEP ENGINEER
-R ENGINEERING CONSULTANTS INC.
840 CHRISTY STREET SUITE 217
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CITY STAMPING AREA

SCALE 1/4" = 1' 0"

LEVELS- WEST BACK)

A3.3



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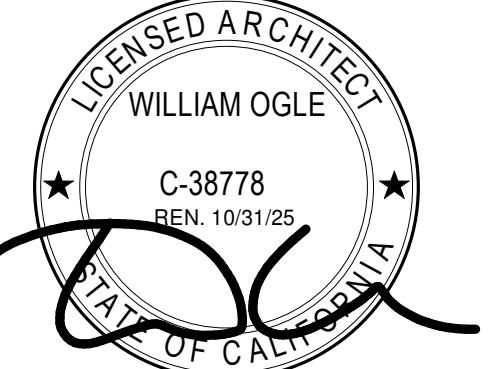
No.	Description	Date
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CITY STAMPING AREA

SCALE 1/4" = 1'-0"

SECTION PROPOSED- SITE

A4.0



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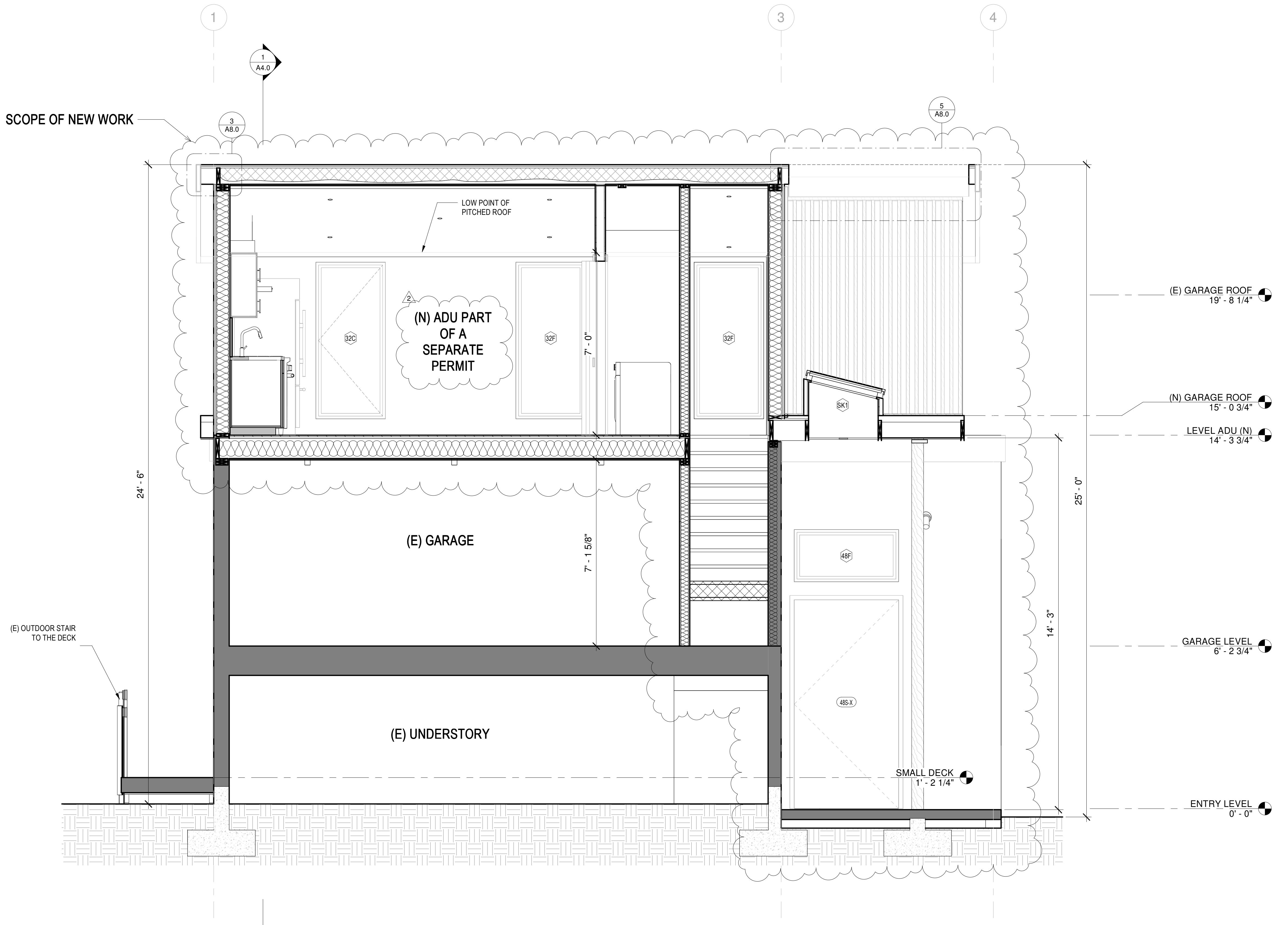
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CITY STAMPING AREA
SCALE 1/2" = 1'-0"

SECTION PROPOSED-
EAST/WEST

A4.1



882 HILLSIDE ADU

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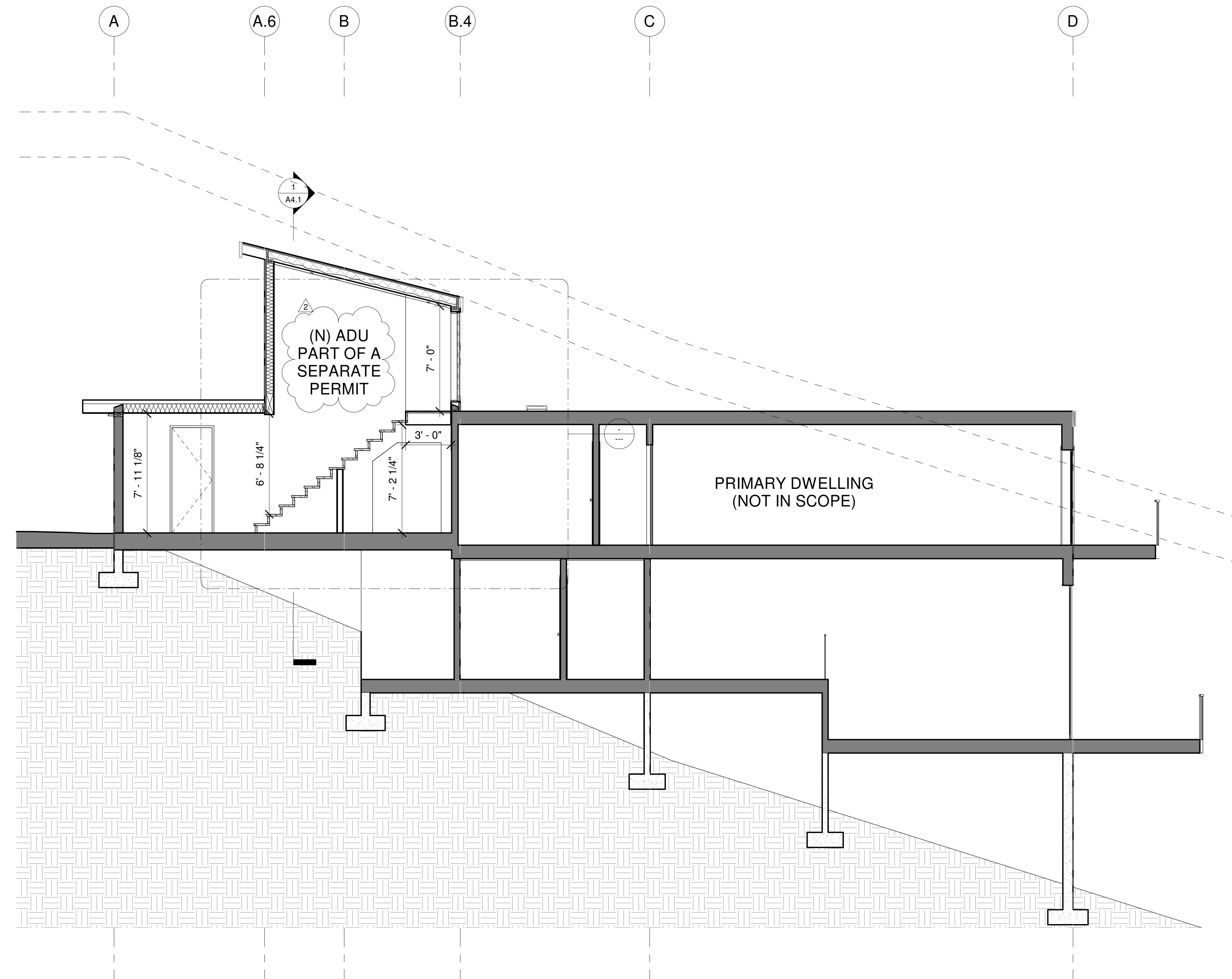
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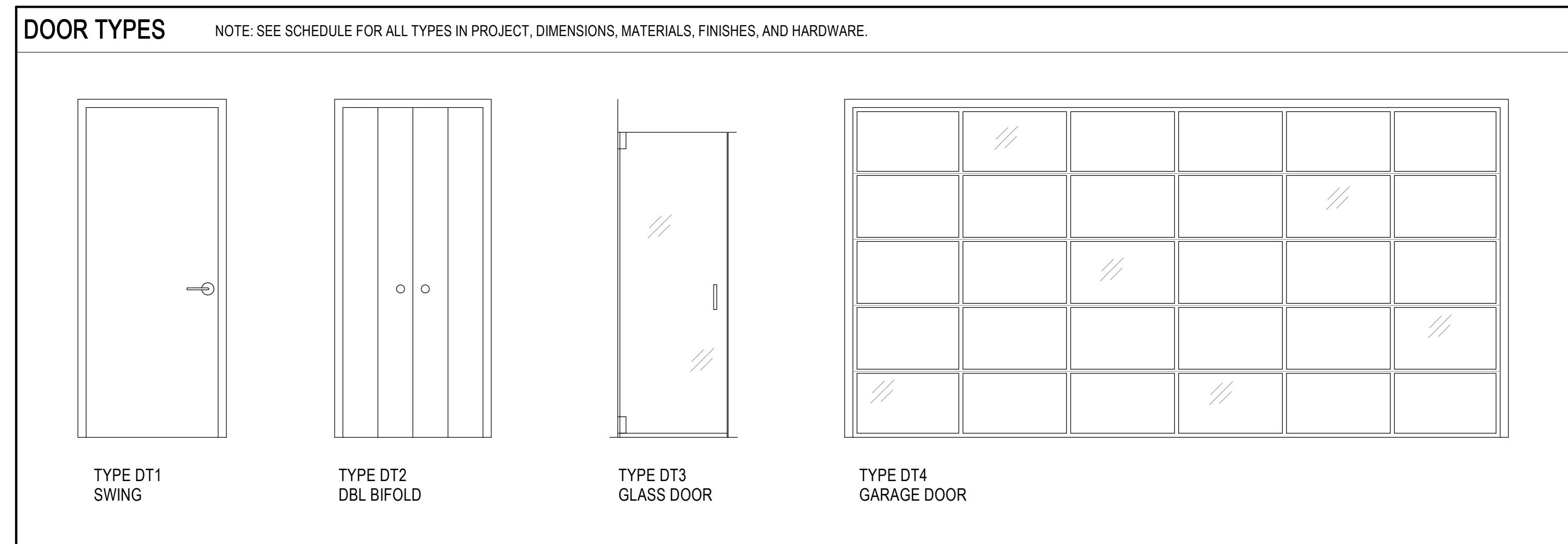
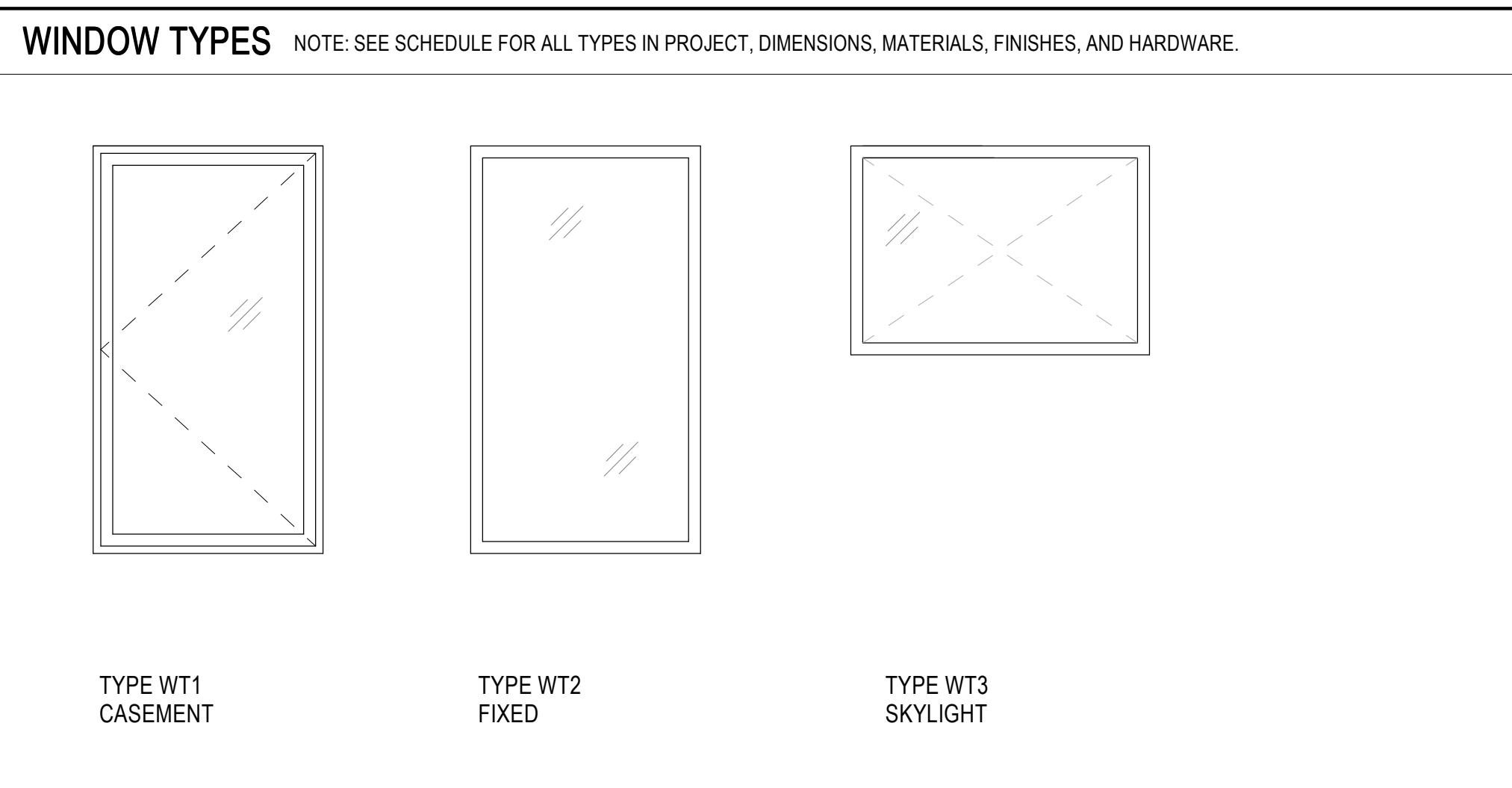
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

SECTION PROPOSED-
NORTH/ SOUTH

A4.2





WINDOW SCHEDULE

#	ITEM	TYPE	SIZE	SILL HT	GLASS TYPE	COMMENTS
PRIMARY ENTRY LEVEL						
48F	FIXED	WT2	48" x 24"	3' - 3 3/8"	TEMPERED	
LEVEL ADU (N)						
24F	CASEMENT	WT1	24" X 24"	4' - 7 1/2"		
32C	CASEMENT	WT1	32" X 72"	0' - 7 1/2"	TEMPERED	
32F	FIXED	WT2	32" x 72"	0' - 7 1/2"	TEMPERED	
36C	CASEMENT	WT1	36" X 24"	4' - 7 1/2"	TEMPERED	
44C	CASEMENT	WT1	44" X 36"	3' - 6"		EGRESS WINDOW
(N) GARAGE ROOF						
SK1	Skylight-Flat	WT7	30" x 36"		TEMPERED	EXTERIOR SKYLIGHT, FIXED

NOTE: ALL WINDOWS MUST BE VERIFIED TO MEET REQUIREMENTS OF ENERGY REPORT PRIOR TO ORDER. VERIFY WINDOW SPECIFICATIONS ARE COMPATIBLE WITH WINDOW DETAILS IN SET.

DOOR SCHEDULE

#	ITEM	TYPE	WIDTH	HEIGHT	THICK	HARDWARE TYPE	PANEL MAT	PANEL FIN	FRAME MAT	FRAME FIN	COMMENTS
30S	SWING SHOWER	DT3	2' - 6"	6' - 8"	1 1/2"	Glass					TEMPERED GLASS
30S-P	SWING SINGLE FLUSH	DT1	2' - 6"	6' - 8"	1 3/8"	SOLID CORE					
30S-X	EXT SWING SINGLE FLUSH	DT1	3' - 0"	7' - 0"	1 3/4"	SOLID CORE					
32S-X	EXT SWING SINGLE FLUSH	DT1	2' - 8"	7' - 0"	1 3/4"	SOLID CORE					
48B	BIFOLD	DT2	4' - 0"	6' - 8"	1 3/8"	SOLID CORE					
48S-X	EXT SWING SINGLE FLUSH	DT1	4' - 0"	8' - 0"	1 3/4"	SOLID CORE					
G	GARAGE DOOR	DT4	16' - 0"	6' - 6"	1 3/4"	ALUM. & GLASS					TEMPERED GLAZING, FROSTED GLASS

NOTE: OVERSIZED DOOR DIMENSIONS ARE SOMETIMES MEASURED TO OUTSIDE OF FRAME DIMENSIONS (MAINTAIN MIN 80" CLR PASSAGE). COORDINATE & VERIFY PRIOR TO ORDER WITH ARCHITECT. ALL DOORS MUST BE VERIFIED TO MEET REQUIREMENTS OF ENERGY REPORT PRIOR TO ORDER. VERIFY DOOR SPECIFICATIONS ARE COMPATIBLE WITH DOOR DETAILS IN SET.

DOOR HARDWARE SCHEDULE

KEY	TYPE	LOCKSET	CLOSER	HINGES	SILENCER	KICKPLATE	COMMENTS	PROVIDED BY OWNER
B	Bifold	Dummy	No	N/A	No	No	CRL 6in Tubular 3/4in Diameter, Finish TBD.	Yes
G	Garage	Entry	No	N/A	No	No	TBD	Yes
K	Pocket	Passage	No	N/A	No	No	Emtek Hardware in Flat Black. 1-1/4" Cadet Knob when bifold or door leaf less than 28" else Stuttgard/Disk Rosette	Yes
P	Swing	Privacy	No	N/A	No	No	Emtek Hardware in Flat Black.	Yes
S	Swing	Passage	No	N/A	No	No	TBD	Yes
X	Entry Swing	Entry	No	N/A	No	No	Emtek Hardware in Flat Black.or by manufacturer if integral with door	Yes
XS	Entry Folding/ Sliding	Entry	No	N/A	No	No	Emtek Hardware in Flat Black. Add Deadbolt for exterior doors. Use self-closing spring hinge for garage doors.	Yes

GENERAL NOTE:
ALL (N) OR RE-USED PLUMBING FIXTURES, LIGHTING, EQUIPMENT, HARDWARE, DOORS, CASEWORK, FINISHES AND WINDOWS SHOWN IN THIS DOCUMENT SET INCLUDING THOSE LISTED AS PROVIDED BY OWNER IN THIS SCHEDULE TO BE COORDINATED & INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED. ANY ADDITIONAL ELEMENTS REQUIRED TO COMPLETE INSTALLATION IN FULL OF THE SCHEDULED ELEMENTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER. SCHEDULED ELEMENTS ARE A MINIMUM TO COMPLETE THE WORK TO A FINISHED STANDARD.



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No.	Description	Date
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CITY STAMPING AREA

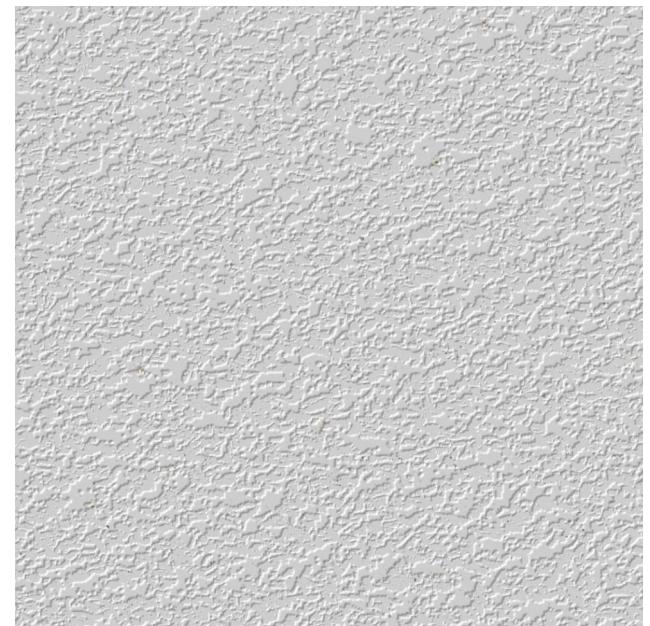
SCALE 1/2" = 1'-0"

DOOR AND WINDOW SCHEDULES

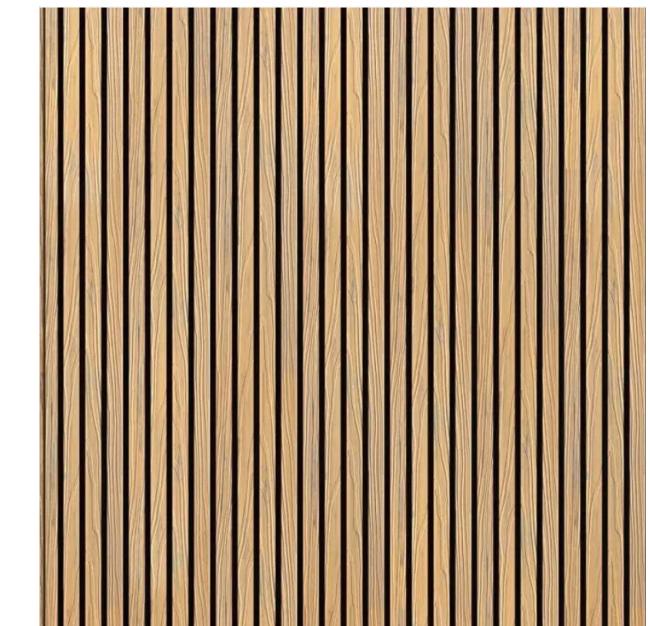
A6.0



1. PAINTED BLACK FASCIA



2. PAINTED WHITE STUCCO FINISH



3. NATURAL WOOD SLATS



4. PAINTED BLACK STEEL PLANTER, TYP.



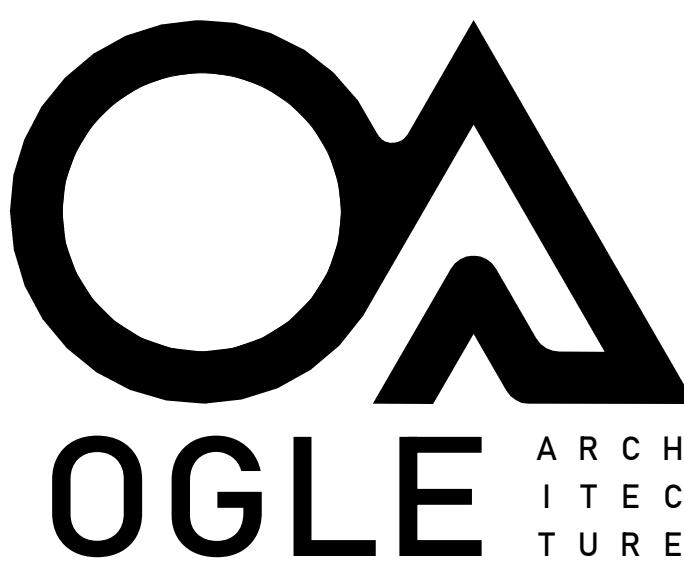
5. ALUMINUM SKYLIGHT



6. BLACK ALUMINUM WINDOWS, TYP.



7. BLACK ALUMINUM GARAGE DOOR WITH TEXTURED GLASS PANELS



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CITY STAMPING AREA

SCALE

RENDERINGS / MATERIAL
SELECTION

A9.0