

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2022 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS

2. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. DRAWINGS ARE NOT TO BE SCALED. PROVIDE ITEMS SHOWN OR REFERRED TO ON ONE DRAWING OR SPECIFICATION SECTION AS THOUGH SHOWN ON ALL DRAWINGS AND/OR SPECIFICATIONS.

3. SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

4. MAKE ALL FIELD MEASUREMENTS AND INVESTIGATIONS NECESSARY TO PERFORM THE WORK.

5. VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, IRRIGATION AND LIGHTING EQUIPMENT (INCLUDING ALL PIPING, DUCT AND CONDUIT ROUTING) AND THAT ALL REQUIRED CLEARANCES FOR THE INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.

6. ANY/ALL EXISTING UTILITIES REMOVED SHALL BE TERMINATED BACK TO THE NEAREST USEFUL SOURCE OR REROUTED AS NECESSARY (TYPICAL).

7. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.

8. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REMOVE REJECTED ITEMS IMMEDIATELY FROM THE WORK AND REPLACE WITH THE ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE THE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE SUBCONTRACTOR FOR THE QUALITY AND CHARACTER FOR THE ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE SUBCONTRACT.

9. PROVIDE WOOD OR METAL BLOCKING AS REQUIRED IN WALLS, BEHIND WALL-HUNG SHELVES, CASEWORK, PANEL BOARDS, ETC., INCLUDING N.I.C. ITEMS.

10. WHEN PROJECT IS COMPLETE, CLEAN AND POLISH ALL NEW GLASS, HARDWARE, AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH TREATED CLOTH OR VACUUM CLEANERS.

11. ALL DIMENSIONS ARE TO FACE OF WALL OR FACE OF CONCRETE U.O.N.

LIFE SAFETY NON-INFRINGEMENT STATEMENT
THE BUILDING RENOVATIONS SHOWN ON THE DRAWINGS UNDER MY RESPONSIBLE CHARGE DO NOT AFFECT THE DESIGN OR OPERATION OF EXISTING SMOKE MANAGEMENT SYSTEMS.

CAL GREEN NOTES

1. SECTION CGBC 4.507.2. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE:

A) THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J – 2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

B) DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D – 2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

C) SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S – 2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTIONS ARE ACCEPTABLE.

2. SECTION CGBC 4.406.1. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

3. SECTION CGBC 4.504.1. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED, TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS ENTERING THE SYSTEM MAY BE USED.

4. SECTION CGBC 4.504.2.1. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:

A) ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS SHALL ALSO COMPLY WITH RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE DICHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION B) BELOW.

B) AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507.

5. SECTION CGBC 4.504.2.2. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37, OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

6. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN SECTION 4.504.3

7. MIN 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN SECTION 4.504.4

6. PARTICLEBOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

7. SECTION CGBC 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

A) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.

B) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.

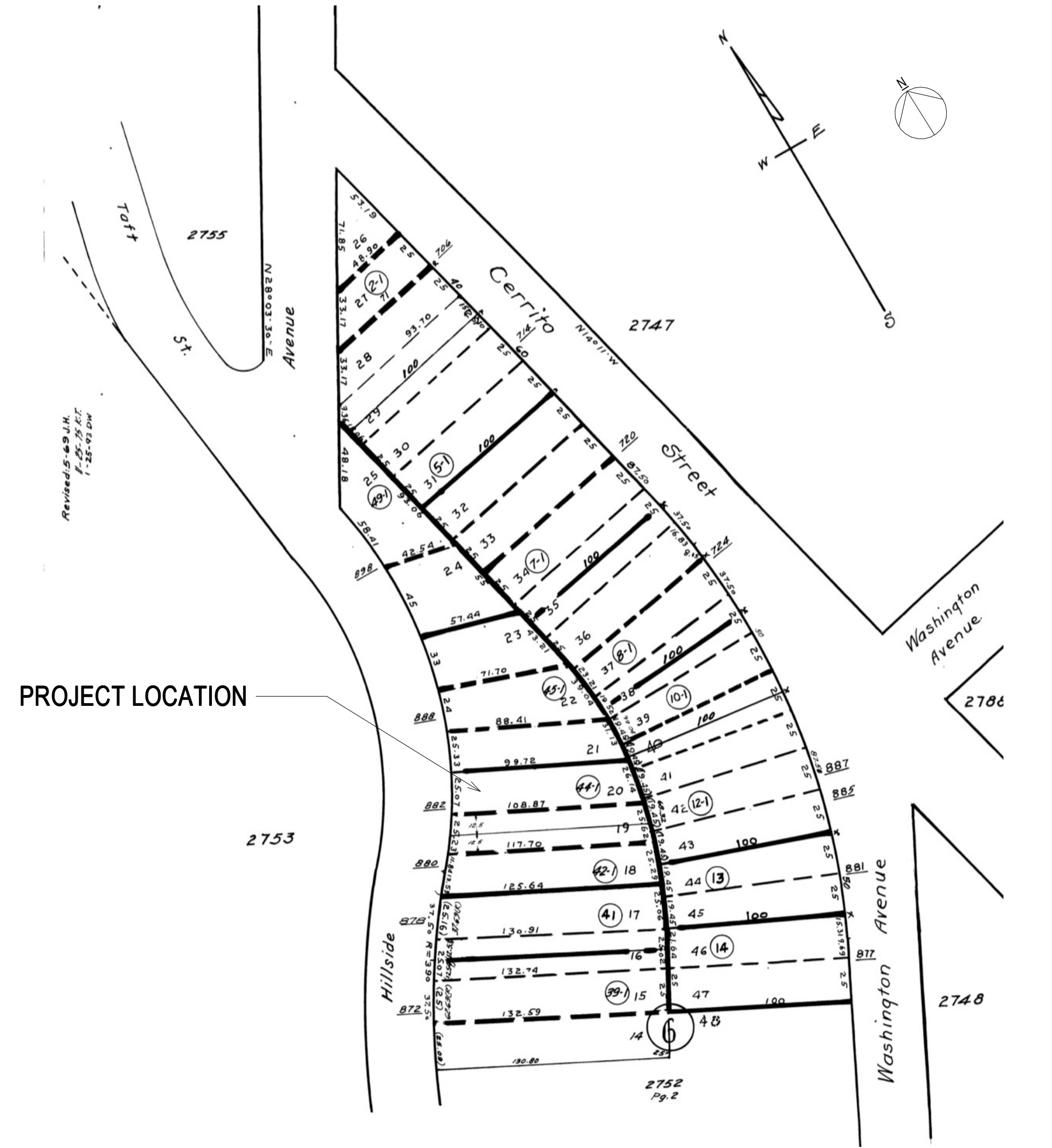
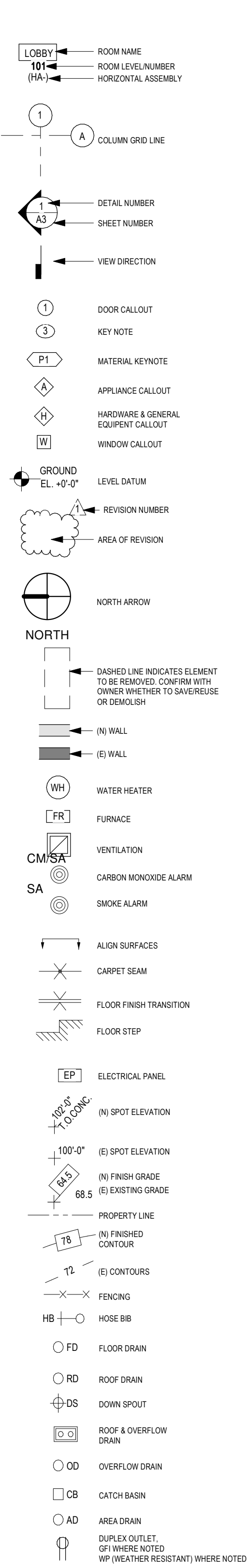
C) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

ABBREVIATIONS

- A.F.F. ABOVE FINISH FLOOR
- ALUM. ALUMINUM
- APR. APPROXIMATE
- AV. AUDIO/VISUAL
- B.D. BOARD
- BLDG. BUILDING
- BLK. BLOCK
- BLKG. BLOCKING
- B.O. BOTTOM OF
- BTWN. BETWEEN
- CLG. CEILING
- CLKG. CAULKING
- CLOS. CLOSET
- CLR. CLEAR
- CMU CONCRETE MASONRY UNIT
- COL. COLUMN
- CONC. CONCRETE
- CONSR. CONSTRUCTION
- CONT. CONTINUOUS
- CORR. CORRIDOR
- CTR. CENTER
- DBL. DOUBLE
- DEPT. DEPARTMENT
- DET. DETAIL
- DIA. DIAMETER
- DIM. DIMENSION
- D.O. DOOR OPENING
- DWG. DRAWING
- DWR. DRAWER
- (E) EXISTING
- E.J. EXPANSION JOINT
- ELEC. ELECTRICAL
- ELEV. ELEVATOR
- EMER. EMERGENCY
- ENGR. ENGINEER
- ENGR. ESTIMATED
- EQ. EQUAL
- EQPT. EQUIPMENT
- EXT. EXTERIOR
- F# FLOOR TYPE
- F.E.C. FIRE EXTINGUISHER CABINET
- F.H.C. FIRE HOSE CABINET
- FIN. FINISH
- FL. FLOOR
- F.O.C. FACE OF CONCRETE
- F.O.F. FACE OF FINISH
- F.O.P. FACE OF PLYWOOD
- F.O.S. FACE OF STUD
- FRN. FURNACE
- FT. FOOT or FEET
- FURR. FURRING
- FUT. FUTURE
- GA. GAUGE
- GALV. GALVANIZED
- G.C. GENERAL CONTRACTOR
- GEN. GENERAL
- GYP. GYPSUM WALL BOARD
- H.B. HOSE BIB
- H.C. HANDICAPPED
- H.M. HOLLOW METAL
- HOR. HORIZONTAL
- HR. HOUR
- HT. HEIGHT
- HW. HOT WATER HEATER
- INSUL. INSULATION
- INT. INTERIOR
- JT. JOINT
- KIT. KITCHEN
- LAM. LAMINATE
- LAV. LAVATORY
- MAX. MAXIMUM
- M.D.F. MEDIUM DENSITY FIBERBOARD
- MECH. MECHANICAL
- MET. METAL
- MFR. MANUFACTURER
- MIN. MINIMUM
- MISC. MISCELLANEOUS
- (N) NEW
- N.I.C. NOT IN CONTRACT
- NOM. NOMINAL
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- P.LY. PLYWOOD
- P.T. PRESSURE TREATED
- PTD. PAINTED
- REQ. REQUIRED
- ROUGH OPENING
- S.A.F. SELF ADHERED FLASHING
- S.C.D. SEE CIVIL DRAWINGS
- SCHD. SCHEDULE
- S.E.D. SEE ELECTRICAL DRAWINGS
- S.F. SQUARE FEET
- SIM. SIMILAR
- S.M.D. SEE MECHANICAL DRAWINGS
- SPEC. SPECIFICATION
- S.S.D. SEE STRUCTURAL DRAWINGS
- SST. STAINLESS STEEL
- STL. STEEL
- STOR. STORAGE
- STR. STRUCTURAL
- T&G. TONGUE AND GROOVE
- TEL. TELEPHONE
- TEMP. TEMPORARY
- T.O.S. TOP OF SLAB
- T.O.W. TOP OF WALL
- TYP. TYPICAL
- U.L. UNDERWRITERS LABORATORY
- U.O.N. UNLESS OTHERWISE NOTED
- V.C.T. VINYL COMPOSITE TILE
- V.I.F. VERIFY IN FIELD
- W.C. WATER CLOSET
- W.R. WET RATED
- W.O. WHERE OCCURS

SYMBOLS



PROJECT SUMMARY

THE PROPOSAL IS FOR ARCHITECTURAL DESIGN OF A SECOND STORY ADU ADDITION OVER AN EXISTING GARAGE.

PROJECT BACKGROUND

ADDRESS:	882 HILLSIDE AVE, ALBANY, CA 94706		
BLOCK/LOT/APN:	66-2752-44-1	(R-1)(H-HILLSIDE OVERLAY)	
ZONING:	N/A	RESIDENTIAL, SINGLE FAMILY	
USE:	3,999 SF	(E) - 1 PRIMARY PROPOSED - 1 ADU	
LOT AREA:	3	ADU: 25' MAIN HOUSE: 28'	
UNITS:	3	N/A	
STORIES:	3	EXISTING: 0.71 ALLOWED: 0.55	
MAX HEIGHT:	2842 SF	PRIMARY DWELLING: 2842 SF	
AVERAGE SLOPE:	NO CHANGE	ADU: 402 SF	
ALLOWABLE AREA/FAR:	NO CHANGE	NO CHANGE	
BUILDING AREA (EXISTING):	3	ADU: 1	
BUILDING AREA (PROPOSED):	2	ADU: 1	
LOT COVERAGE:	2	ADU: 1	
BEDROOMS:	N/A	N/A	
BATHROOMS:	N/A	N/A	
PARKING STALLS:	N/A	N/A	
PRESERVATION:	N/A	N/A	
OCCUPANCY GROUP:	RESIDENTIAL	RESIDENTIAL	
CONSTRUCTION TYPE:	V-B	V-B	
SPRINKLERED:	NO	NO (PRIMARY RESIDENCE NOT SPRINKLERED)	
WILDLAND URBAN INTERFACE:	NO	NO	
FLOOD ZONE:	NO	NO	

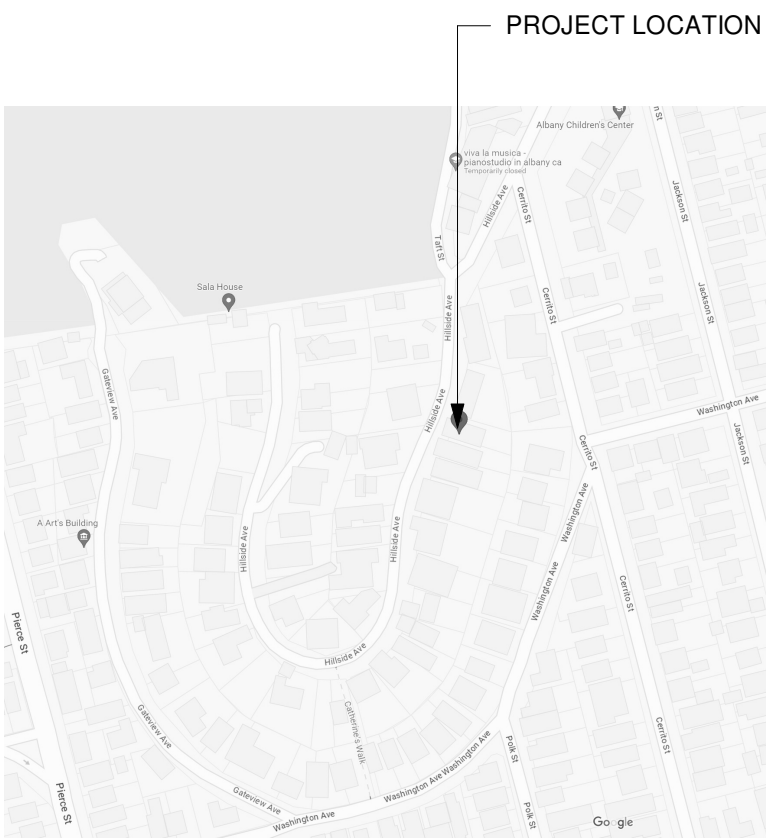
DRAWING INDEX

A0	COVER SHEET	SN 1	STRUCTURAL NOTES
A0.1	GENERAL NOTES	S1	FOUNDATION & LOWER LEVEL FRAMING PLANS
A0.2	CITY CORRESPONDENCE	S2	UPPER FLOOR ROOF FRAMING PLANS
A0.3A	CONSTRUCTION MANAGEMENT PLAN	S3	BUILDING SECTION
A0.3B	GREEN BUILDING WORKSHEET	SD1	STRUCTURAL NOTES
A0.4A	CAL GREEN	SD2	STRUCTURAL DETAILS
A0.4B	CAL GREEN	SD3	STRUCTURAL DETAILS
A0.4C	CAL GREEN	SD4	STRUCTURAL DETAILS
A0.6	ENERGY SUMMARY	M0.1	MECH SPECIFICATIONS, LEGEN & GENERAL NOTES
A0.7	ENERGY SUMMARY	M0.2	MECHANICAL SCHEDULES
A0.8	T24 ENERGY REPORT	M2.1	MECH FLOOR PLANS
A0.9	T24 ENERGY REPORT	M2.2	MECH ROOF PLAN
A1.0	SURVEY	M3.1	MECHANICAL DETAILS
A1.1	SITE PLAN AND SETBACK	E1.0	ELECTRICAL GENERAL NOTES
A1.2	AREA & FAR	E2.0	ELECTRICAL POWER & SIGNAL PLANS
A1.3	CIVIL DRAINAGE PLAN	E3.0	ELECTRICAL & LIGHTING PLANS
A1.4	ROOF PLANS	E4.0	ELECTRICAL SINGLE LINE DIAG. & PANEL SCHEDULE
A2.0	PLANS - EXISTING/DEMO	E5.0	ELECTRICAL DETAILS
A2.1	PLANS - PROPOSED	E6.0	ELECTRICAL SPECIFICATIONS
A2.2	FINISH & POWER PLANS	P0.1	PLUMBING GENERAL NOTES, CAL GREEN
A2.3	REFLECTED CEILING PLAN	P2.1	PLUMBING LAYOUT GARAGE LEVEL
A2.4	INFRASTRUCTURE PLANS	P2.2	PLUMBING LAYOUT ADU LEVEL
A3.0	ELEVATIONS - EAST (FRONT)	P3.1	PLUMBING SCHEMATIC DIAGRAM
A3.1	ELEVATIONS - SOUTH	P4.1	PLUMBING DETAILS
A3.2	ELEVATIONS - NORTH		
A3.3	ELEVATIONS - WEST (BACK)		
A4.0	SECTIONS - NORTH/SOUTH		
A4.1	SECTIONS - EAST/WEST		
A5.0	INTERIOR ELEVATIONS		
A6.0	DOOR AND WINDOW SCHEDULES		
A6.1	DOOR DETAILS		
A6.2	WINDOW DETAILS		
A7.0	INTERIOR DETAILS		
A8.0	EXTERIOR DETAILS		
A9.0	RENDERING AND MATERIALS		
A10.0	WALL TYPES AND SCHEDULES		

DEFERRED SUBMITTAL

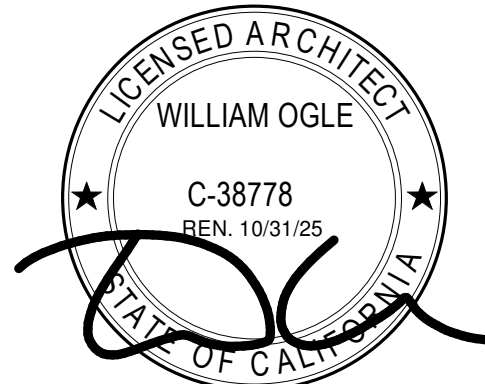
1. CONTRUCTION WASTE TRACKING FORM

LOCATION MAP



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER

BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT

OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR

LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER

MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER

PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER

M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

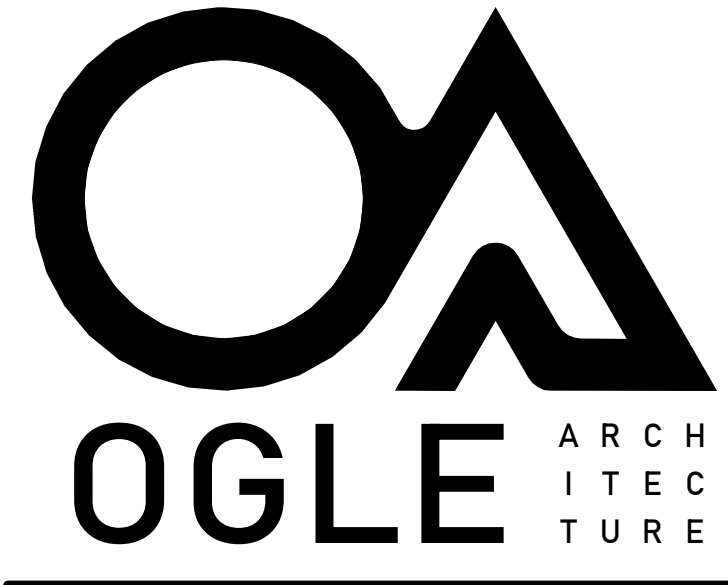
No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

SCALE 12" = 1'-0"

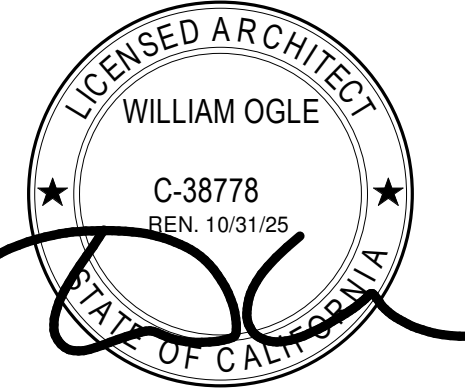
COVER SHEET

A0



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER

BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT

OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR

LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER

MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER

PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER

M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

SCALE 1 1/2" = 1'-0"

GENERAL NOTES

A0.1

GENERAL NOTES:

- ALL NEW LIGHTING SHALL BE HIGH EFFICACY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A). ALL JA8 OR JA8 LAMPS SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. INTERIOR RECESSED LIGHT FIXTURES SHALL BE IC LISTED AND AIRTIGHT. SEE MF-1R FOR DETAILS AT HTTP://WWW.ENERGY.CA.GOV/TITLE24/2016STANDARDS/
- IN KITCHENS (NOT AT COUNTERTOPS), FAMILY, LIVING, DINING ROOMS, BEDROOMS, HALLWAYS AND SIMILAR ROOMS PROVIDE RECEPTACLE OUTLETS AT EACH WALL SPACE 2 FEET OR WIDER, MAXIMUM 12 FEET APART. NO POINT ALONG WALL LINE WILL BE MORE THAN 6', MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE.
- ALL NEW RESIDENTIAL 125 VOLT, 15 AND 20 AMP CIRCUITS NOT REQUIRED TO BE GFCI/AFCI PROTECTED MUST BE A.F.C.I. PROTECTED. ALL NEW 125 VOLT, 15 AND 20 AMP RATED RECEPTACLES MUST BE TAMPER-RESISTANT TYPE.
- ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS, CLOTHES CLOSETS, LINEN CLOSETS OR STORAGE ROOMS WITH EASILY IGNITABLE COMBUSTIBLES, OR IN LOCATIONS NOT READILY ACCESSIBLE.
- A SEISMIC GAS SHUT-OFF VALVE, CALIFORNIA LISTED, SHALL BE INSTALLED IN NEW BUILDINGS AND STRUCTURAL REMODELS OF EXISTING BUILDINGS SERVED BY NATURAL OR PROPANE GAS, PLUMBING OR MECHANICAL PERMITS FOR INSTALLATION OR ALTERATION OF A GAS LINE OR INSTALLATION OR RELOCATION OF A GAS APPLIANCE OR ANY NEW GAS PIPING.
- CA CIVIL CODE 1101.1-8: EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED IF THEY DO NOT MEET THE FOLLOWING STANDARD: WATER CLOSETS MAXIMUM 1.6 GALLONS FLUSH, SHOWERHEADS MAXIMUM 2.5 GALLONS PER MINUTE, LAVATORY AND KITCHEN FAUCETS AT 2.2 GALLONS PER MINUTE MAXIMUM.
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH SLEEPING ROOM AT THE HIGHEST POINT OF THE CEILING, CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA, AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SEE THE INSTALLATION INSTRUCTIONS FOR OTHER LOCATIONS. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS EQUIPPED WITH GAS APPLIANCES AND SHALL BE INSTALLED OUTSIDE SLEEPING AREAS AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SMOKE AND CO DETECTORS ARE REQUIRED TO BE SUPPLIED BY 110V POWER IF THE BUILDING HAS ACCESSIBLE UNDERFLOOR AND/OR ATTIC SPACES. IF POSSIBLE, MULTIPLE 110V ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. BATTERY-POWERED UNITS ARE ALLOWED IN SOME CIRCUMSTANCES.
- IN ALL FIRE HAZARD SEVERITY ZONES, INCLUDING THE WILDLAND URBAN INTERFACE (WUI) ALL NEW/REPLACEMENT WINDOWS SHALL BE DUAL PANE/TEMPERED GLASS. ALL NEW/REPLACEMENT EXTERIOR DOORS SHALL BE FIRE RESISTIVE (1 3/8" THICK OR 20 MINUTE FIRE RATED).
- DWELLINGS SHALL BE POSTED WITH VISIBLE ADDRESS NUMERALS WITH A MINIMUM OF 4 INCHES IN HEIGHT AND A 1/4 INCH WIDE STROKE. CHECK WITH THE LOCAL FIRE AUTHORITY FOR FURTHER REQUIREMENTS.
- EXTERIOR DOORS: NEW OR REPLACEMENT EGRESS DOORS REQUIRE LEVEL LANDINGS ON BOTH SIDES WITH THRESHOLDS A MAXIMUM 1 1/2" IN HEIGHT FOR OUT-SWINGING DOORS, 7 3/4" FOR IN-SWINGING DOORS. OTHER DOORS MAY HAVE A MAXIMUM OF TWO STEPS UP TO AN IN-SWINGING DOOR WITH A MAXIMUM OF 7 3/4" HEIGHT IN VERTICAL RISE FOR EACH STEP. OTHER OUT-SWINGING DOORS MAY SWING OVER A LANDING WITH A MAXIMUM 7 3/4" INCHES FROM THE TOP OF THE THRESHOLD TO THE TOP OF A LANDING. RESIDENTIAL LANDINGS MUST BE AT LEAST AS WIDE AS THE DOOR THEY SERVE AND A MINIMUM OF 36 INCHES IN THE DIRECTION OF TRAVEL.
- EXTERIOR DOORS & LANDINGS REQUIRE AN EXTERIOR LIGHT SWITCHED FROM THE INSIDE. LIGHTS SHALL EITHER BE LED OR FLUORESCENT AND CONTROLLED BY A MOTION SENSITIVE, DAYLIGHT SENSING DEVICE. (DOWNWARD SHINING MAY BE REQUIRED.)

KITCHEN NOTES:

- PROVIDE A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS TO SERVE TAMPER RESISTANT GFCI COUNTER RECEPTACLES IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS AND SIMILAR AREAS.
- WHEN SEPARATE CIRCUITS FOR THE GARBAGE DISPOSAL AND DISHWASHER ARE TERMINATED IN THE SAME BOX, PROVIDE A SEPARATE BOX. LABEL RECEPTACLES FOR THE APPLIANCE THEY SERVE. PROVIDE A HANDLE TIE FOR THE CIRCUIT BREAKERS AT THE SERVICE PANEL. NO OTHER RECEPTACLE SHALL BE INSTALLED IN THIS BOX. DISHWASHER REQUIRES A GFCI RECEPTACLE OUTLET.
- INSTALL COUNTERTOP RECEPTACLE OUTLETS AT EACH COUNTER SPACE 12" OR WIDER. INSTALL RECEPTACLES SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE. PROVIDE A MINIMUM OF ONE RECEPTACLE FOR PENINSULA COUNTERS AND ISLANDS.
- COUNTERTOP RECEPTACLES SHALL BE LOCATED A MAXIMUM OF 20 INCHES ABOVE OR 12 INCHES BELOW THE COUNTERTOP. RECEPTACLES SHALL NOT BE INSTALLED IN A FACE UP POSITION.
- PROVIDE BACKFLOW PREVENTION FOR SPRAY HEADS ATTACHED TO HOSES.
- CONNECT DISHWASHER WITH APPROVED AIR GAP DEVICE LOCATED ABOVE THE FLOOD LEVEL OF THE SINK.
- PROVIDE A MINIMUM 100 CFM RANGE HOOD THAT VENTS TO THE EXTERIOR (NEW BUILDINGS AND SUBSTANTIAL REMODELS).
- KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE

BATHROOM NOTES:

- PROVIDE A MINIMUM OF ONE 20 AMP GFCI/AFCI CIRCUIT FOR EACH BATHROOM. TAMPER RESISTANT RECEPTACLE OUTLETS ARE REQUIRED WITHIN 3 FEET OF EACH SINK.

EXCEPTION: ALL BATHROOM GFCI/AFCI RECEPTACLES CAN BE ON A SINGLE 20 AMP DEDICATED CIRCUIT.

- LIGHT FIXTURES IN SHOWER ENCLOSURES SHALL BE APPROVED FOR "WET LOCATION".
- A MINIMUM OF ONE LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR
- PROVIDE A SEPARATELY SWITCHED MINIMUM 50 CFM FAN WITH A HUMIDITY CONTROL THAT VENTS TO THE EXTERIOR. VENTS SHALL TERMINATE A MINIMUM OF 3 FEET FROM OPENINGS INTO A BUILDING.

EXCEPTION: HALF BATHS (A WATER CLOSET AND LAVATORY ONLY) IF PROVIDED WITH A WINDOW THAT OPENS DO NOT REQUIRE FANS.

- WATER CLOSETS REQUIRE A MINIMUM 15" OF CLEARANCE FROM THE CENTER LINE TO A SIDE WALL OR OBSTRUCTION AND 24 INCHES OF CLEAR SPACE IN FRONT.
- SHOWER COMPARTMENTS REQUIRE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE FROM FINISHED WALL TO FINISHED GLAZING. SURFACES SHALL BE WATERPROOF UP TO 72 INCHES ABOVE THE DRAIN OUTLET. MATERIAL BASE FOR TILE SHALL BE GLASS MAT GYPSUM BACKING PANEL, NONASBESTOS FIBER-CEMENT BACKER BOARD OR NONASBESTOS FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNIT. PROVIDE A MINIMUM 22 INCH CLEAR OPENING AT THRESHOLDS. PROVIDE A MINIMUM 22 INCH CLEAR OPENING FOR SHOWER DOOR EGRESS. GLASS SHOWER DOORS AND PARTITIONS SHALL BE TEMPERED OR SAFETY GLASS, AND SHALL BE PROPERLY SUPPORTED ON ALL EDGES. WOOD WINDOWS ARE NOT ALLOWED WITHIN SHOWER ENCLOSURE.
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED SUCH THAT THE SPRAY DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE AND THE BATHER CAN ADJUST THE VALVE WITHOUT STEPPING INTO THE SPRAY.
- SHOWERS, TUB-SHOWER COMBINATIONS AND BATHTUBS SHALL BE PROVIDED WITH CONTROL VALVES WITH ANTI-SCALD PROTECTION. SUCH VALVES SHALL BE OF THE PRESSURE BALANCING AND/OR THERMOSTATICALLY CONTROLLED TYPE.
- HAND-HELD SHOWERHEADS ATTACHED TO FLEXIBLE HOSES SHALL BE PROVIDED WITH AN APPROVED METHOD OF BACKFLOW PREVENTION IF THE HEAD CAN BE PLACED BELOW THE FLOOD LEVEL.
- WATER CLOSETS REQUIRE MAXIMUM 1.28 GALLON FLUSH, SHOWERHEADS MAXIMUM 1.8 GALLONS PER MINUTE, LAVATORY FAUCETS MAXIMUM 1.2 GALLONS PER MINUTE.
- WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF AL SHOWERHEADS AND/OR OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER TO BE IN OPERATION AT A TIME
- PROVIDE TEMPERED GLAZING FOR WINDOWS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60 INCHES:
A. ABOVE THE STANDING SURFACE IN A TUB OR SHOWER.
B. WITHIN 60 INCHES MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A TUB OR SHOWER PROVIDE TEMPERED OR SAFETY GLAZING.

BEDROOM NOTES:

- FLUORESCENT AND RECESSED LIGHT FIXTURES IN CLOSETS MUST MAINTAIN A MINIMUM OF 6" HORIZONTAL CLEARANCE FROM THE EDGE OF SHELVES.
- GAS APPLIANCES ARE NOT ALLOWED TO BE INSTALLED IN BEDROOMS OR BATHROOMS UNLESS THEY ARE OF THE DIRECT-VENT TYPE OR ARE IN A SEALED CLOSET WHICH DRAWS COMBUSTION AIR FROM THE OUTSIDE AIR.
- BEDROOMS SHALL BE A MINIMUM AREA OF 70 SQUARE FEET WITH A MINIMUM CEILING HEIGHT OF 7' 0".
- BEDROOMS WINDOWS SHALL PROVIDE A MINIMUM OF 8% OF ITS FLOOR AREA IN NATURAL LIGHT AND 4% OF ITS FLOOR AREA IN NATURAL VENTILATION.
- EACH BEDROOM SHALL HAVE AN EGRESS WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET IN OPENABLE AREA, WITH A MINIMUM OPENING WIDTH OF 20" AND A MINIMUM OPENING HEIGHT OF 24"; THE WINDOW'S LOWEST OPEN EDGE SHALL NOT EXCEED 44" IN HEIGHT ABOVE THE FINISHED FLOOR.

EXCEPTION: GRADE LEVEL WINDOWS (LOWEST OPEN EDGE AT OR BELOW 44" FROM GRADE) MAY HAVE AN OPENABLE EGRESS AREA OF 5.0 SQUARE FEET. AN EGRESS DOOR (MIN. 3 FT. X 6 FT. 8 INCHES) MAY SUBSTITUTE FOR AN EGRESS WINDOW.
NOTE: SECOND STORY EGRESS WINDOWS SHALL BE PROVIDED WITH ESCAPE LADDERS IF THE BUILDING IS NOT EQUIPPED WITH A FIRE SPRINKLER SYSTEM.

NOTES: OPENINGS FOR ELECTRICAL BOXES IN RATED WALLS

1. MEMBRANE PENETRATIONS OF NOT MORE THAN 2-HOUR FIRE-RESISTANCE-RATED WALLS AND PARTITIONS BY STEEL ELECTRICAL BOXES THAT DO NOT EXCEED 16 SQUARE INCHES (0.0103 M²) IN AREA PROVIDED THAT THE AGOREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE DOES NOT EXCEED 100 SQUARE INCHES (0.0645 M²) IN ANY 100 SQUARE FEET (9.29 M²) OF WALL AREA. THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.1 MM). SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY ONE OF THE FOLLOWING:

1.1. BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES (610 MM) WHERE THE WALL OR PARTITION IS CONSTRUCTED WITH INDIVIDUAL NONCOMMUNICATING STUD CAVITIES.

1.2. BY A HORIZONTAL DISTANCE OF NOT LESS THAN THE DEPTH OF THE WALL CAVITY WHERE THE WALL CAVITY IS FILLED WITH CELLULOSE LOOSE-FILL, ROCKWOOL OR SLAG MINERAL WOOL INSULATION.

1.3. BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.

1.4. BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS.

1.5. BY OTHER LISTED MATERIALS AND METHODS.

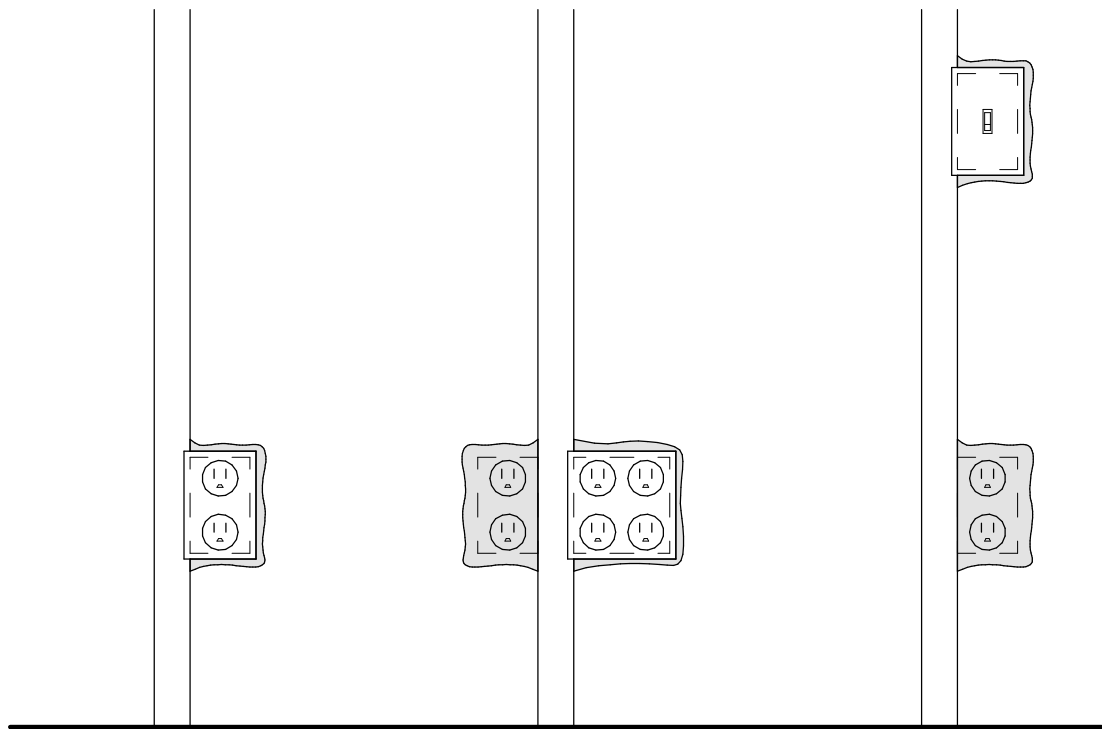
2. MEMBRANE PENETRATIONS BY LISTED ELECTRICAL BOXES OF ANY MATERIALS PROVIDED THAT THE BOXES HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING. THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.1 MM) UNLESS LISTED OTHERWISE. SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY ONE OF THE FOLLOWING:

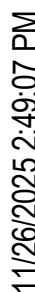
2.1. BY THE HORIZONTAL DISTANCE SPECIFIED IN THE LISTING OF THE ELECTRICAL BOXES.

2.2. BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.

2.3. BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS.

2.4. BY OTHER LISTED MATERIALS AND METHODS.

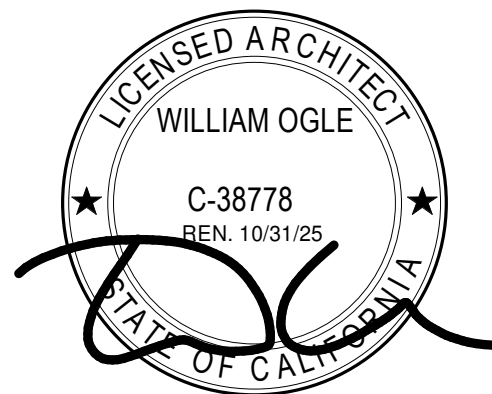






882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

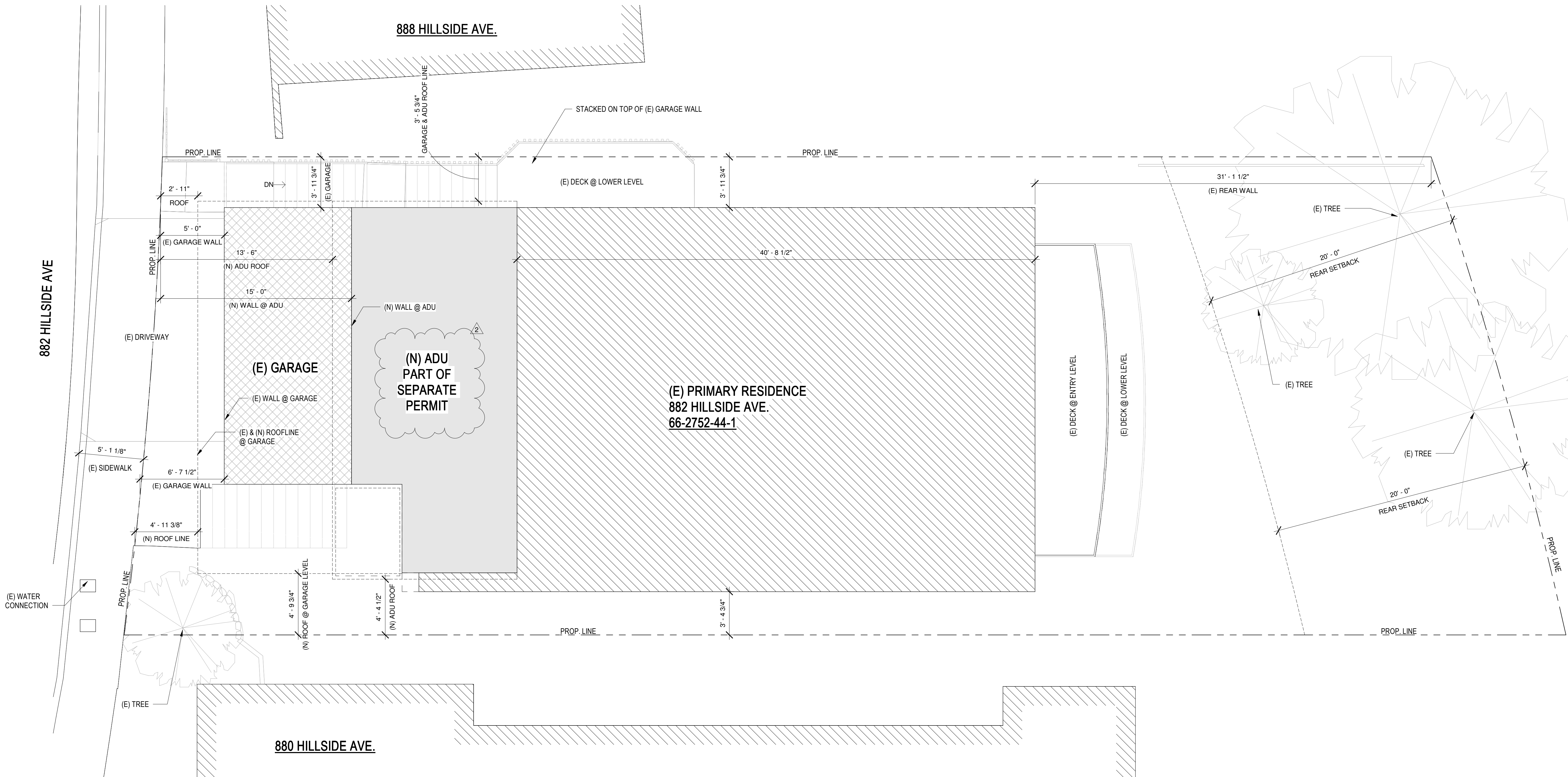
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

SITE PLAN & SETBACK

A1.1

11/26/2025 2:49:07 PM



1 PROPOSED SITE PLAN
1/4" = 1'-0"

EXISTING FLOOR AREA CALCULATION

PRIMARY DWELLING

LOWER	1349	SF
MAIN	1309	SF
COVERED PARKING	324	SF
TOTAL	2982	SF
FAR	2982 / 3999 = 0.75	

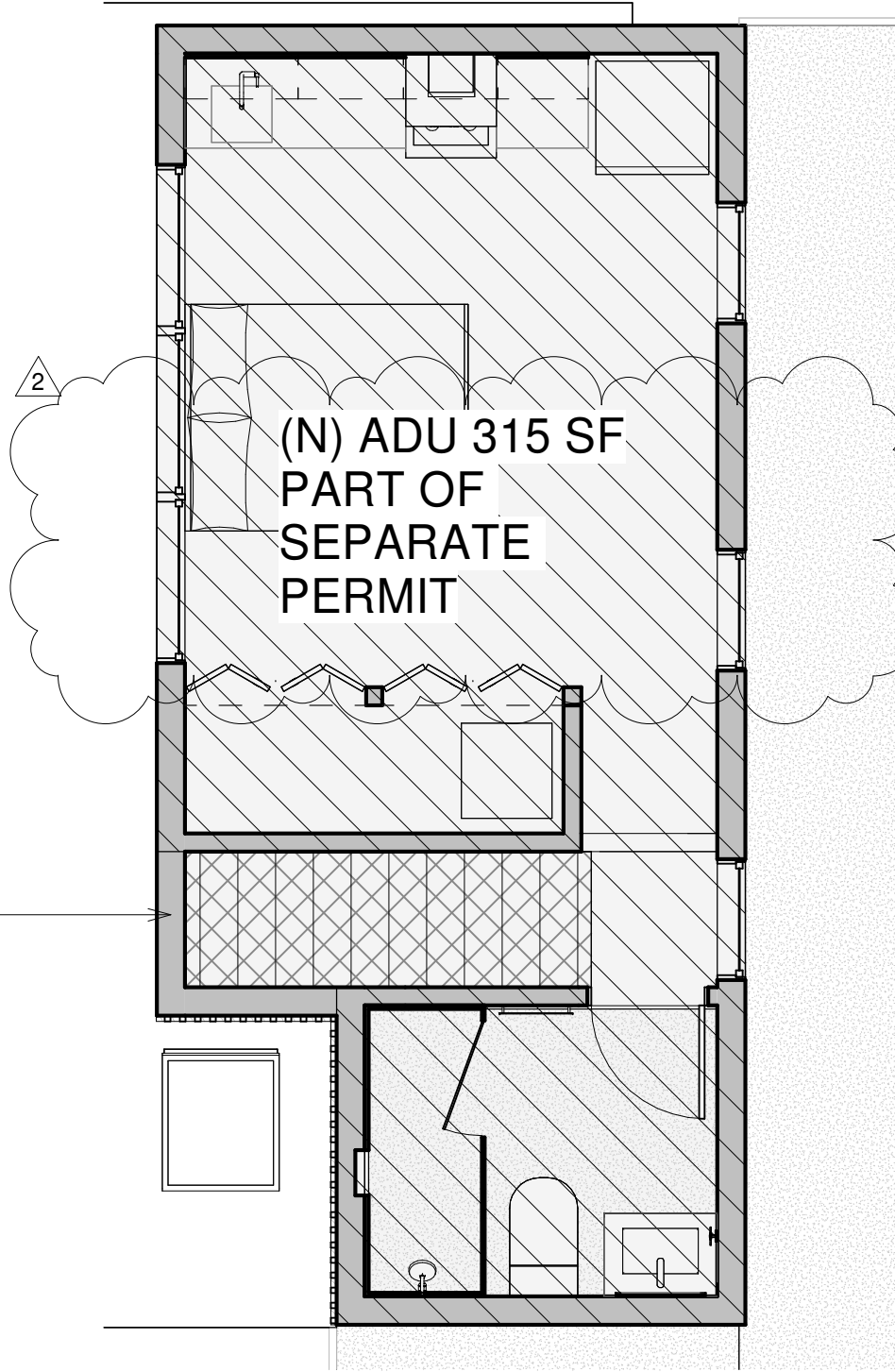
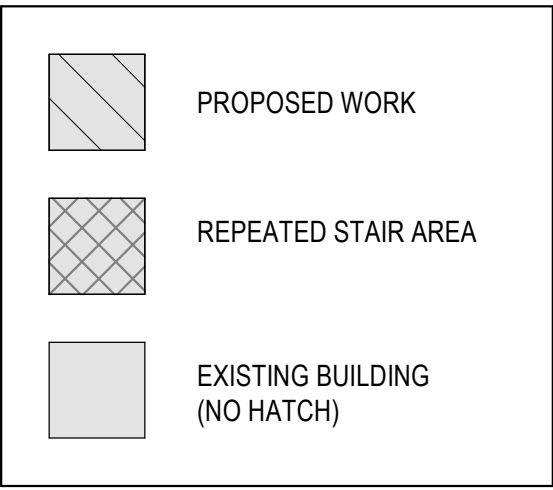
PROPOSED FLOOR AREA CALCULATION

PRIMARY DWELLING

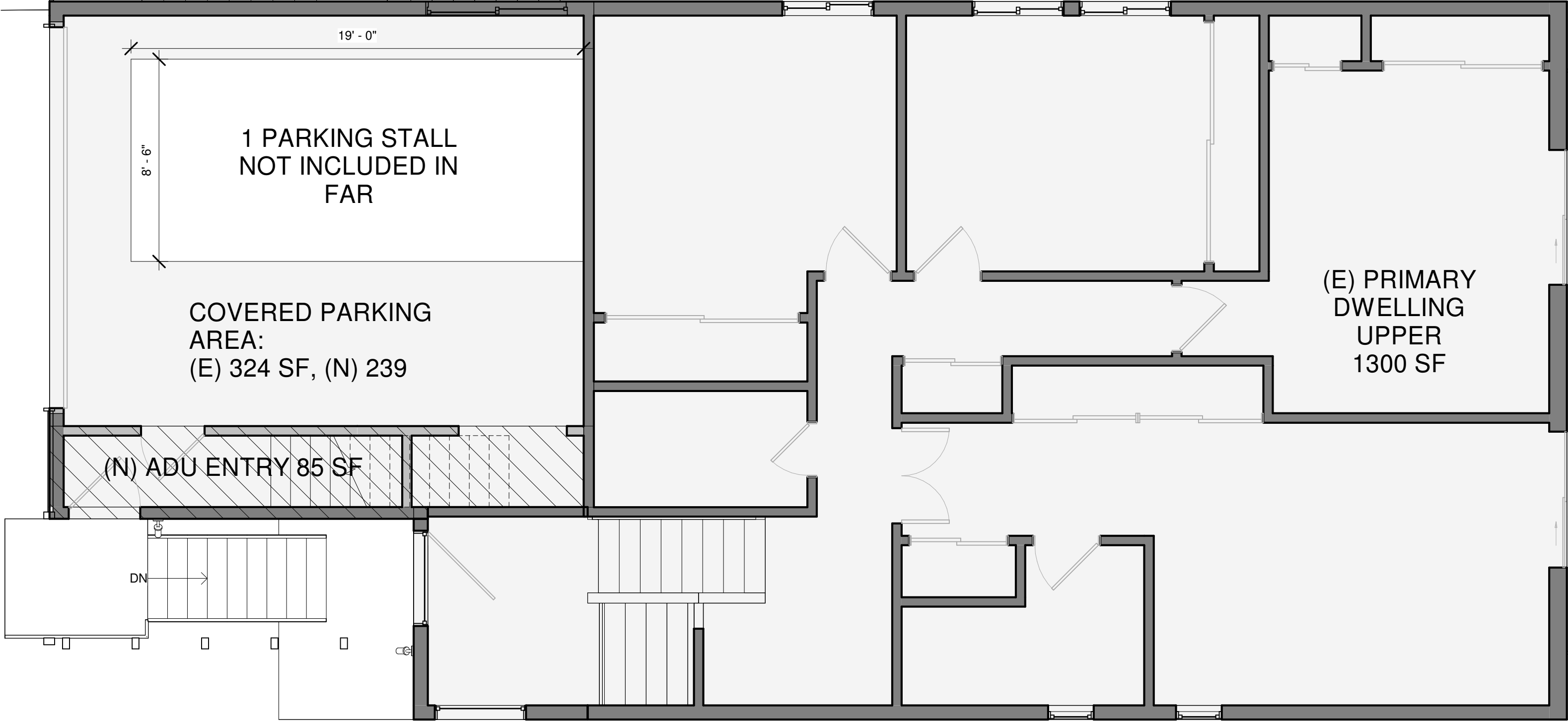
LOWER	1349	SF
MAIN	1309	SF
COVERED PARKING	239	SF
ADU ENTRY	85	SF
TOTAL	2982	SF
FAR	2982 / 3999 = 0.75	

ADU

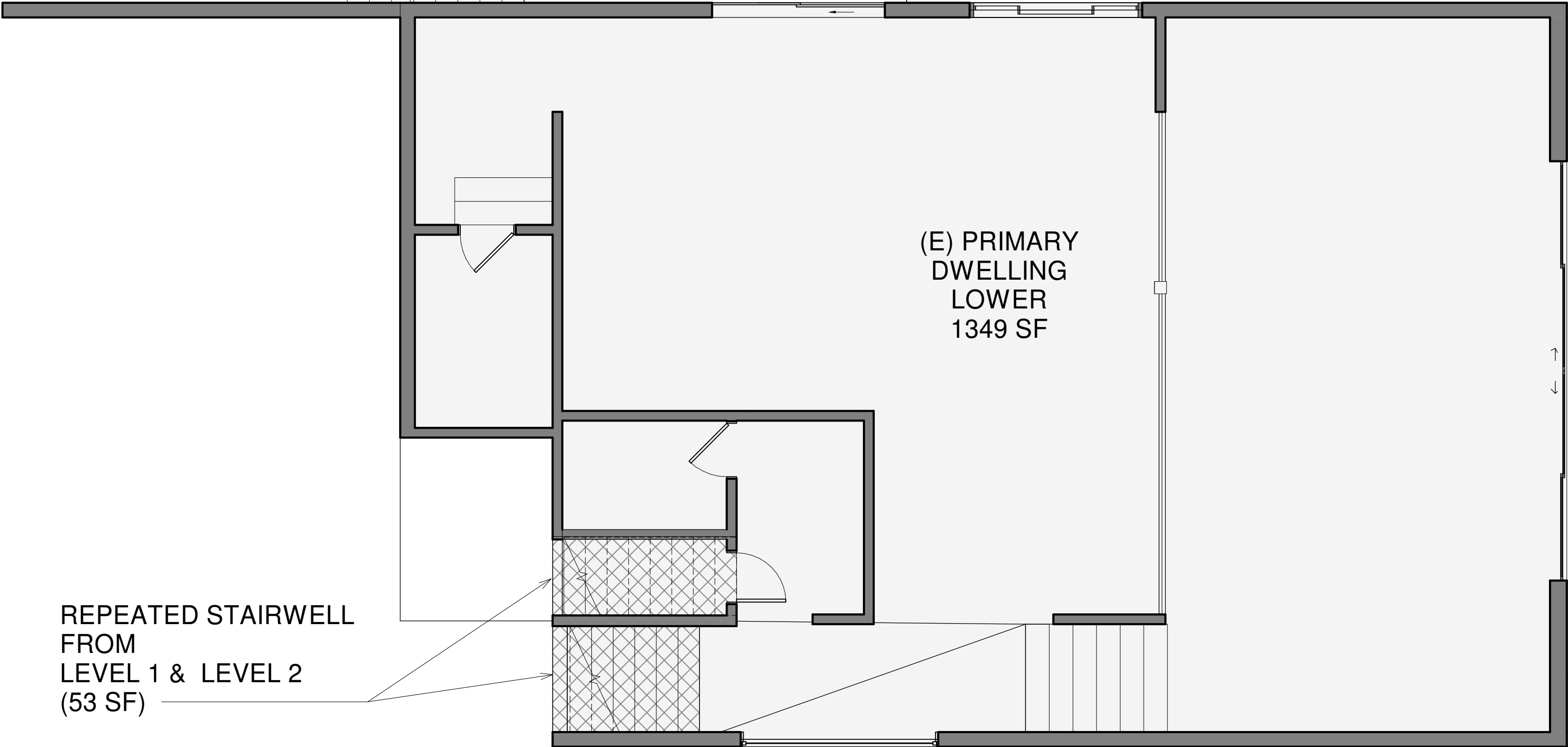
MAIN FLOOR	315	SF
FAR	N/A (LESS THAN 800 SF)	



3 LEVEL ADU (N)
1/4" = 1'-0"



2 PRIMARY DWELLING LEVEL 2
1/4" = 1'-0"

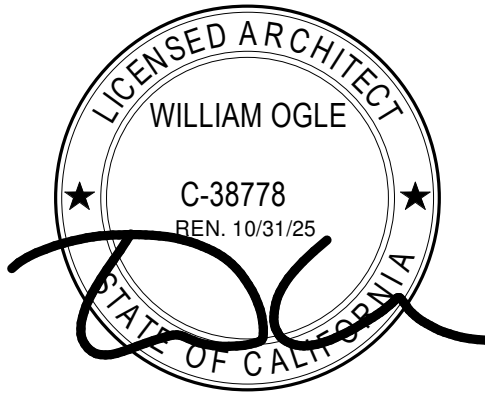


1 PRIMARY LOWER LEVEL
1/4" = 1'-0"



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

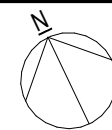
ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

CITY STAMPING AREA

SCALE As indicated



AREA & FAR DIAGRAMS

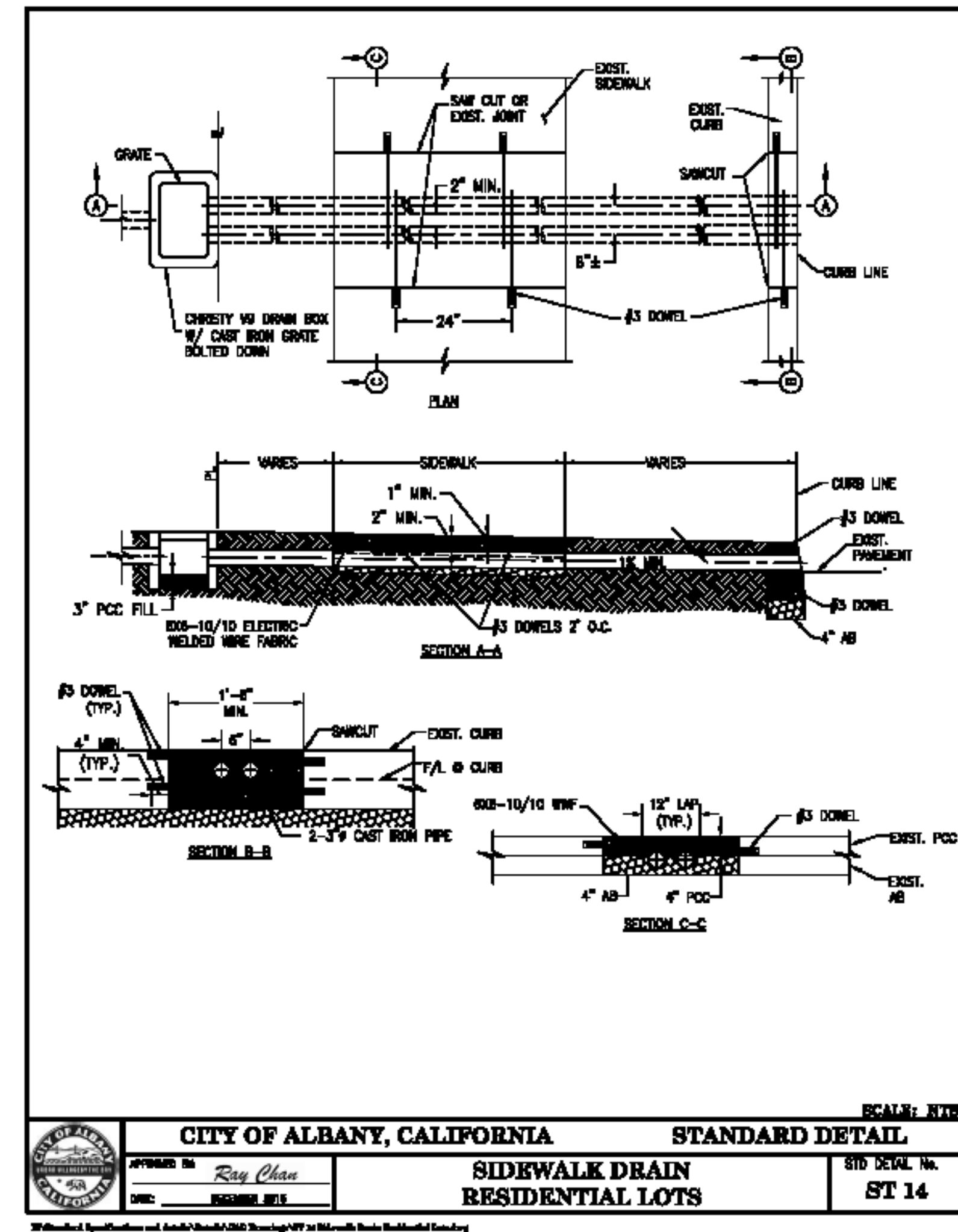
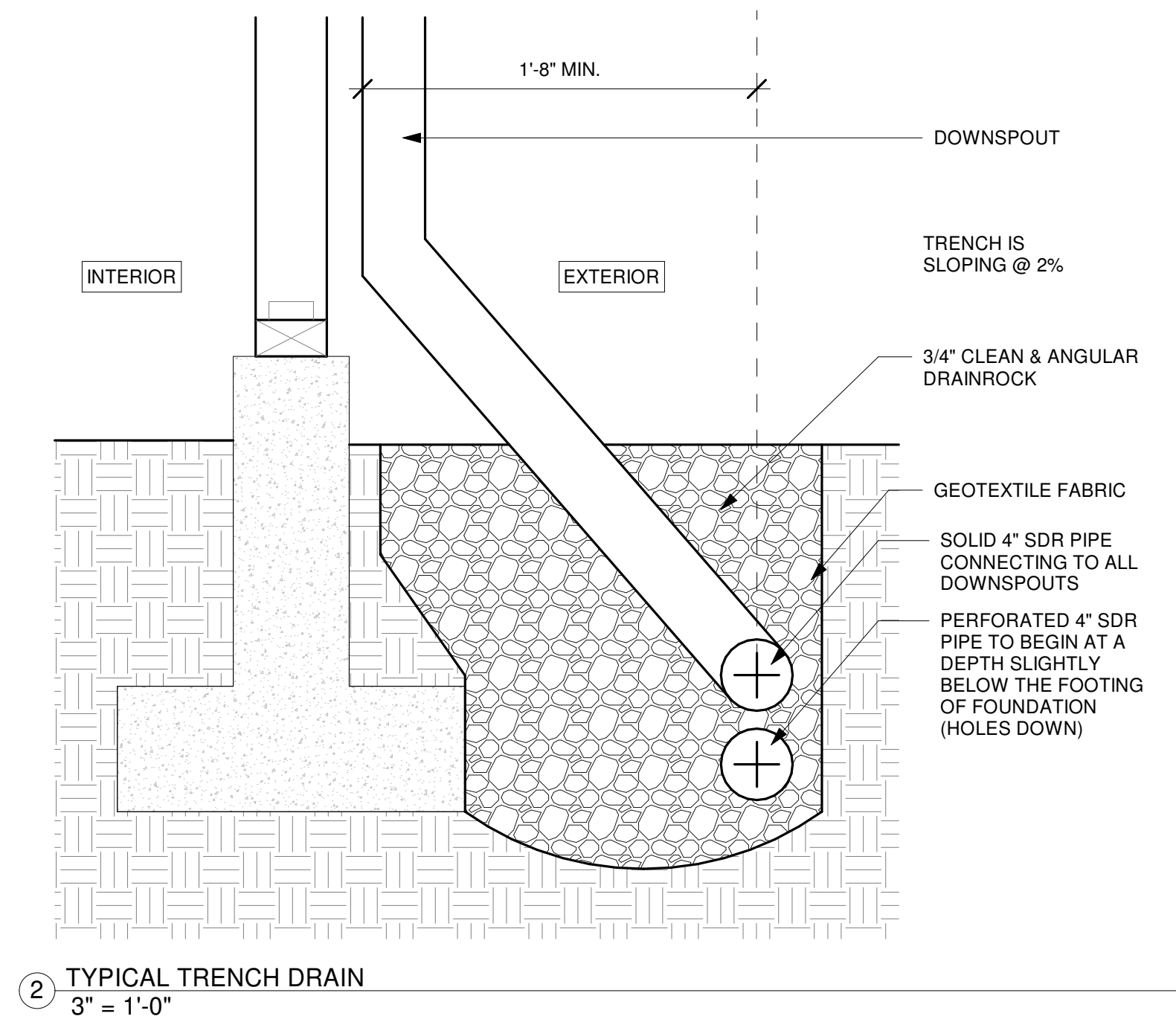
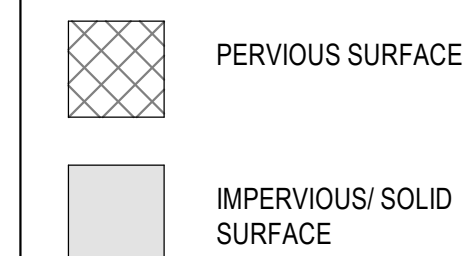
A1.2

TOTAL PROPERTY AREA: 4,000 SF

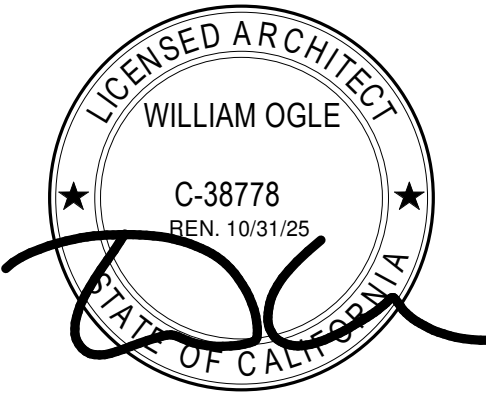
IMPERVIOUS SURFACE: 1,100 SF (NO CHANGE)- **27%**

LANDSCAPE: 904 SF (NO CHANGE)- **22%**

**NO SIGNIFICANT AMOUT OF ADDITIONAL ROOF SURFACE HAS BEEN
CREATED BY THE SCOPE OF WORK FOR THR PROJECT.**



882 HILLSIDE AVE, ALBANY, CA
94706



SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

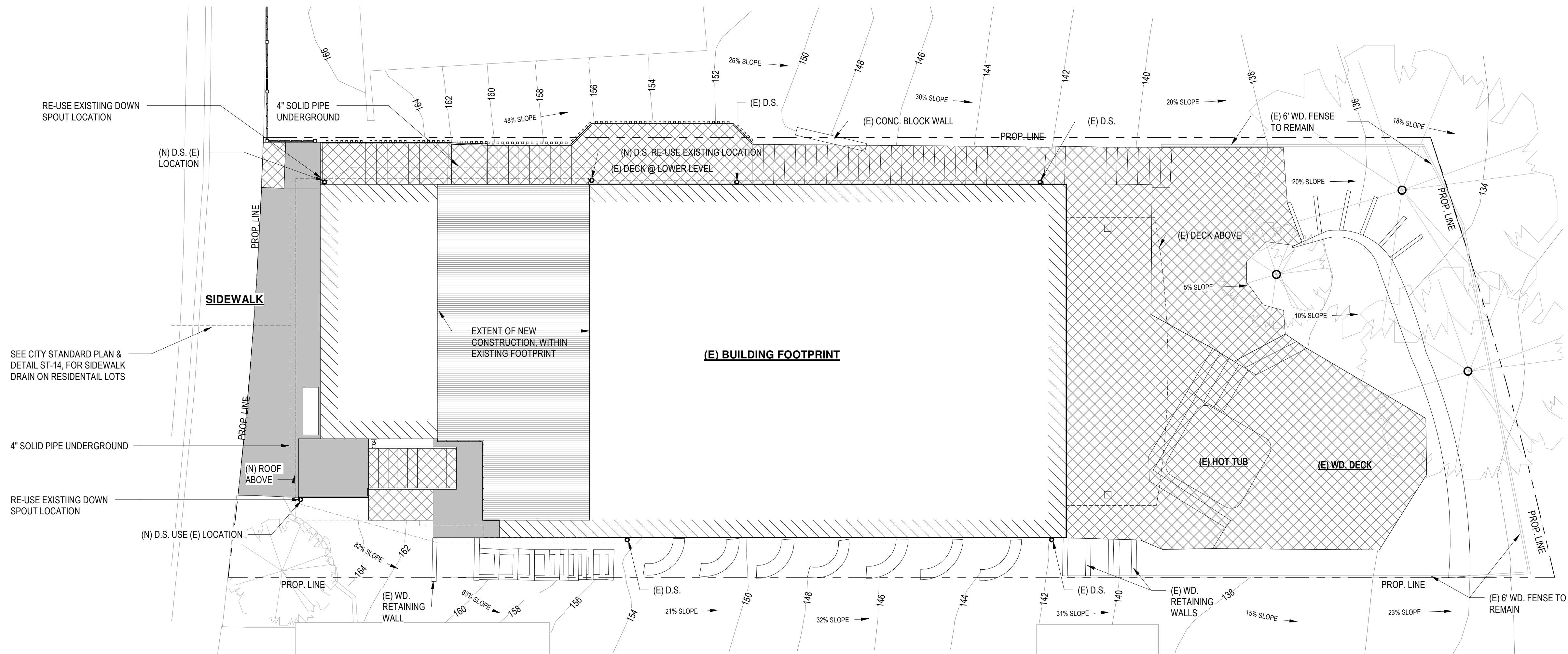
No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

SCALE As indicated

A1.3

11/26/2025 2:49:08 PM

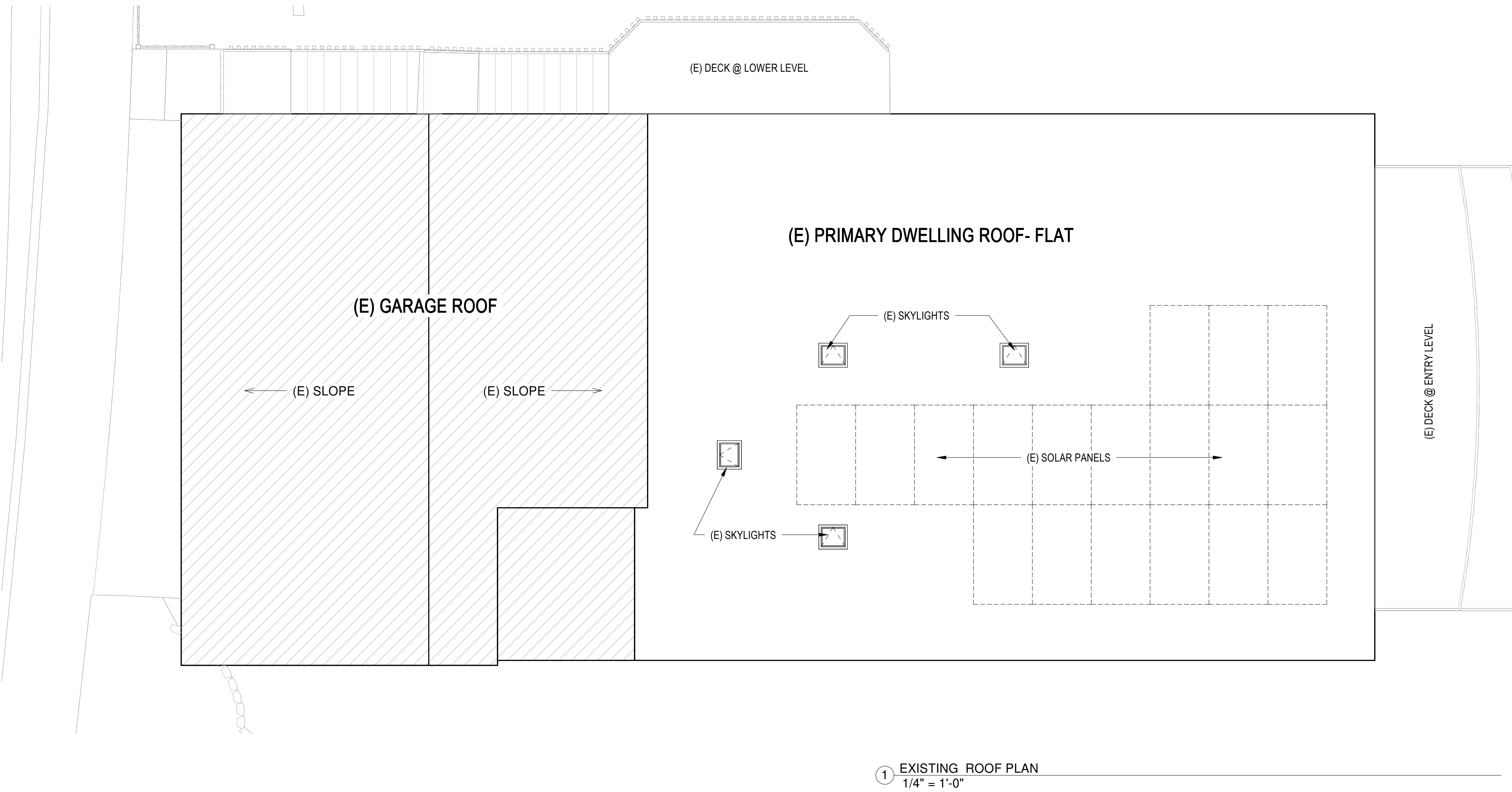
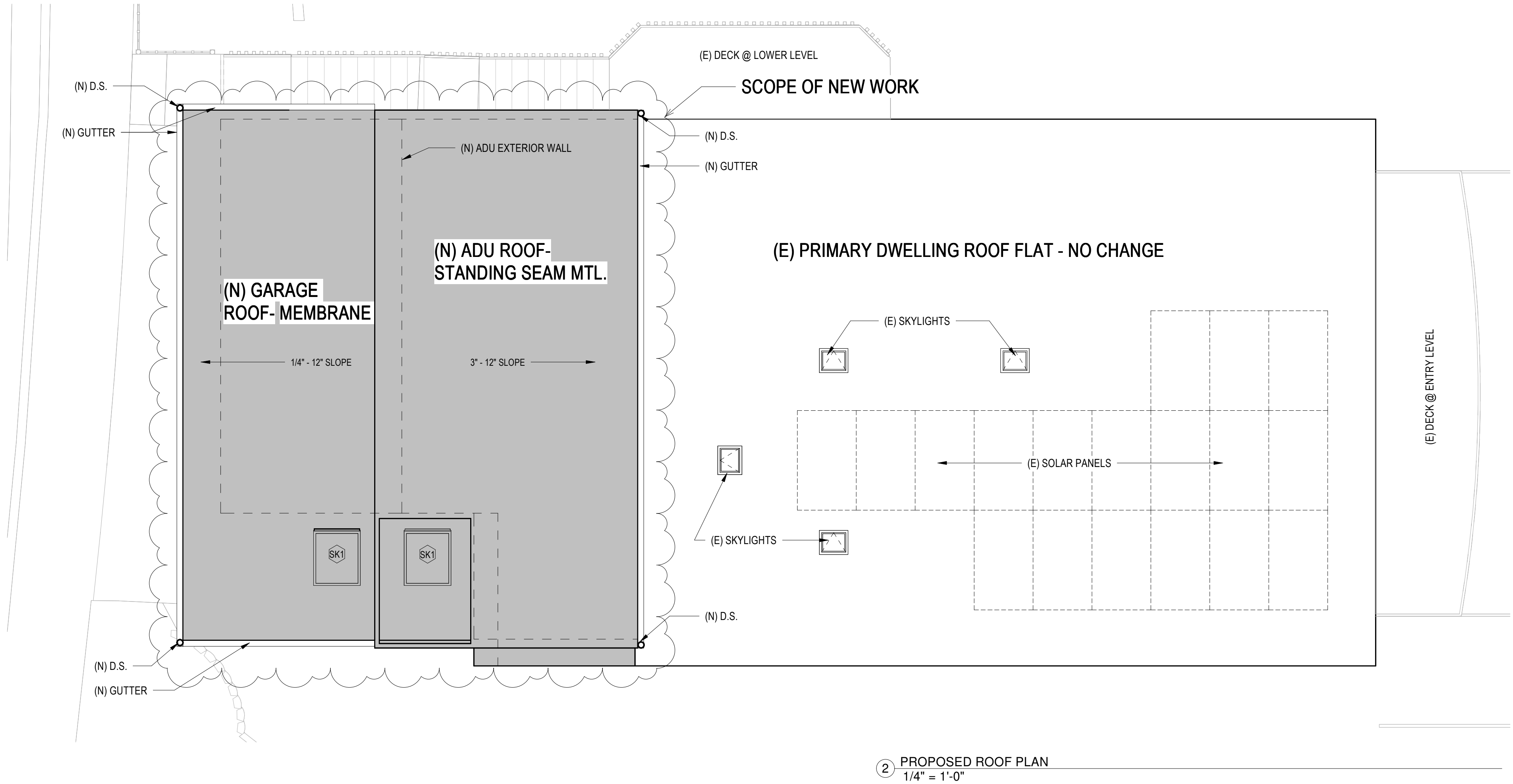


① CIVIL DRAINAGE PLAN
3/16" = 1'-0"

ROOF PLAN LEGEND

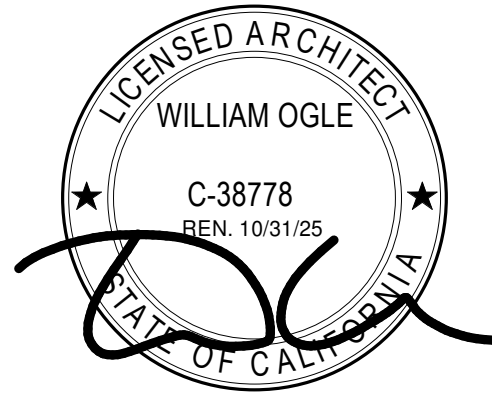
EXTENT OF NEW WORK

EXTENT OF DEMO



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

SCALE As indicated



ROOF PLANS

A1.4

CONSTRUCTION AND DEMOLITION :

1. DURING CONSTRUCTION AND DEMOLITION, ALL DEBRIS MUST BE REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED HAULER, REPUBLIC SERVICES, USING THEIR DEBRIS BOX SERVICE. NO OTHER ENTITY IS AUTHORIZED TO COLLECT OR TRANSPORT MATERIAL GENERATED WITHIN FREMONT. THERE IS AN EXCEPTION FOR DEBRIS BOXES CONTAINING ONLY SEPARATED SOIL, CONCRETE OR ASPHALT.

2. ALTERNATELY, THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE MATERIALS FROM THE JOBSITE, USING THEIR OWN EQUIPMENT, VEHICLES AND EMPLOYEES, AS AN INCIDENTAL PART OF A TOTAL CONSTRUCTION SERVICE OFFERED BY THAT CONTRACTOR. CONTRACTORS WHO SELF-HAUL DEBRIS IN THEIR OWN VEHICLES MUST DELIVER THE MATERIAL TO AN APPROVED RECYCLING FACILITY.

3. LOADS OF SEPARATED RECYCLABLE MATERIALS (ONLY SOIL, ASPHALT OR CONCRETE) CANNOT CONTAIN MORE THAN 10% GARBAGE OR OTHER NON-RECYCLABLE MATERIAL BY WEIGHT OR VOLUME.

4. PLANT AND TREE DEBRIS MUST BE SEPARATED FROM OTHER WASTE. THE ALAMEDA COUNTY WASTE MANAGEMENT AUTHORITY'S ACWMA PLANT DEBRIS LANDFILL BAN ORDINANCE ACWMA ORD. NO. 2008-01 REQUIRES ALL PLANT AND TREE DEBRIS TO BE SEPARATED AND RECYCLED.

5. DURING CONSTRUCTION, 100% OF THE ASPHALT AND CONCRETE MUST BE REUSED OR RECYCLED, AND 65% OF THE REMAINING DEBRIS MUST BE REUSED OR RECYCLED. APPLICANT MUST SAVE ALL WEIGHT TAGS/RECEIPTS FROM DISPOSAL AND RECYCLING TO TURN IN AT THE COMPLETION OF THE PROJECT.

6. THE APPLICANT MUST SUBMIT A FREMONT WASTE HANDLING PLAN. THE WASTE HANDLING PLAN MUST: A) PROVIDE AN ESTIMATE OF TYPE OF DEBRIS GENERATED
B) LIST THE NAMES OF THE APPROVED RECYCLING FACILITIES THAT WILL BE USED
C) INDICATE THAT 65% OF THE MATERIAL WILL BE RECYCLED D) BE DISTRIBUTED TO ALL SUBCONTRACTORS ON THE JOB. APPLICANTS MAY SUBMIT THE PLAN ELECTRONICALLY AT WWW.FREMONT.WASTETRACKING.COM.

7. ALL DISPOSAL AND RECYCLING RECEIPTS MUST OFFICIALLY LIST FREMONT AS THE CITY OF ORIGIN TO BE COUNTED TOWARD THE DIVERSION REQUIREMENT.

8. PRIOR TO THE FINAL INSPECTION, THE APPLICANT MUST FILE A DEBRIS DISPOSAL & DIVERSION REPORT DOCUMENTING ACTUAL TONS OF DEBRIS RECYCLED, ALONG WITH ALL DISPOSAL RECEIPTS OR WEIGHT TAGS FROM THE PROJECT. ALLOW THREE 3 BUSINESS DAYS FOR REVIEW OF THE DEBRIS DISPOSAL REPORT ELECTRONICALLY AT WWW.FREMONT.WASTETRACKING.COM.

THE WASTE HANDLING PLAN MUST:

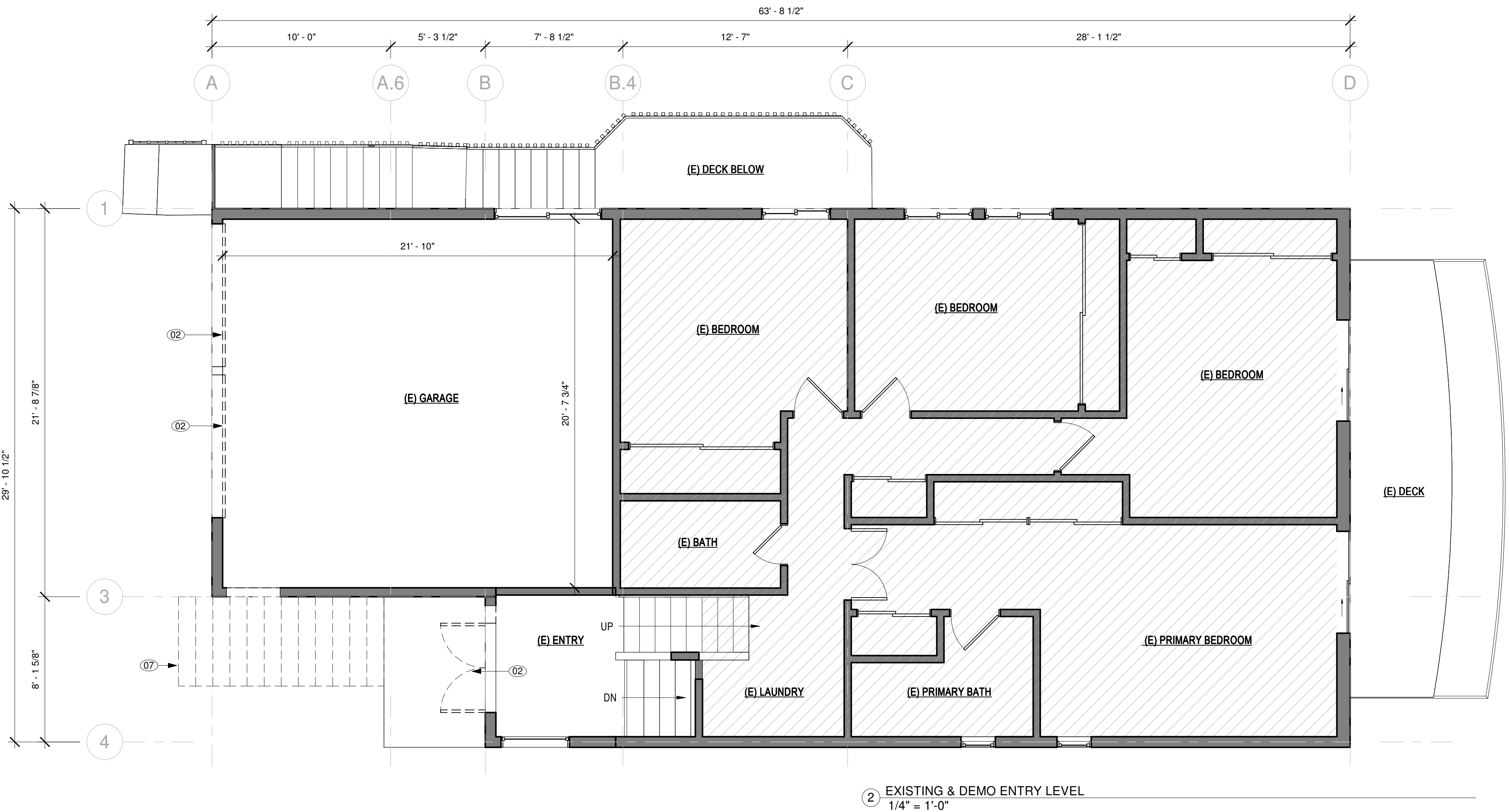
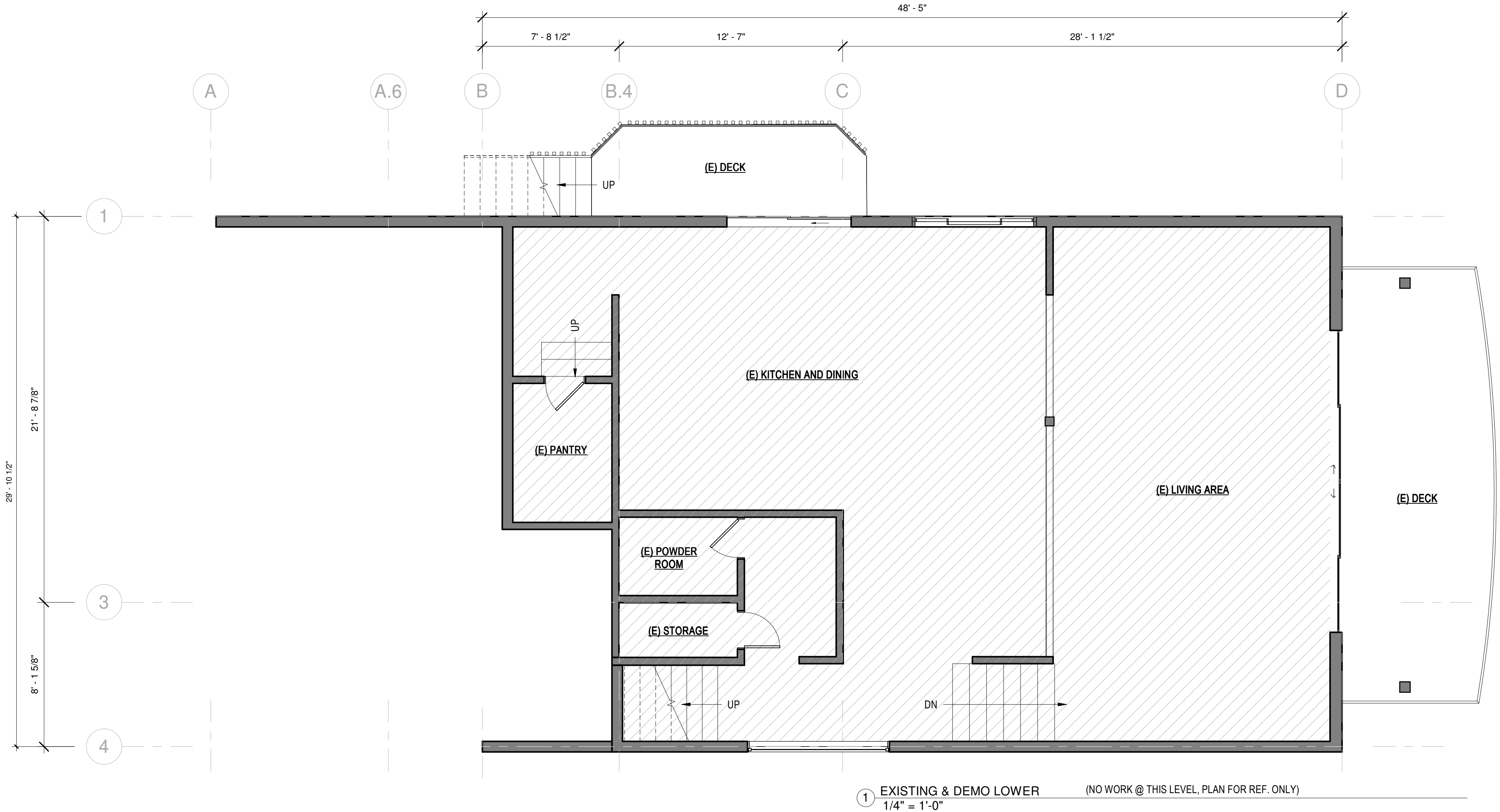
A) PROVIDE AN ESTIMATE OF TYPE OF DEBRIS GENERATED
B) LIST THE NAMES OF THE APPROVED RECYCLING FACILITIES THAT WILL BE USED
C) INDICATE THAT 65% OF THE MATERIAL WILL BE RECYCLED D) BE DISTRIBUTED TO ALL SUBCONTRACTORS ON THE JOB. FOR A WASTE HANDLING PLAN TO BE CONSIDERED COMPLETE, YOU MUST FILL IN THE PROJECT INFORMATION, TRANSPORTATION METHOD, EXPECTED MATERIAL GENERATED, EXPECTED FACILITY USED AND HIT THE SUBMIT FOR APPROVAL BUTTON.

KEYNOTE LEGEND

#	DESCRIPTION
02	DEMOLISH (E) DOOR/ WINDOW & FRAME
07	DEMOLISH (E) STAIR/ RAILING/ HANDRAILING

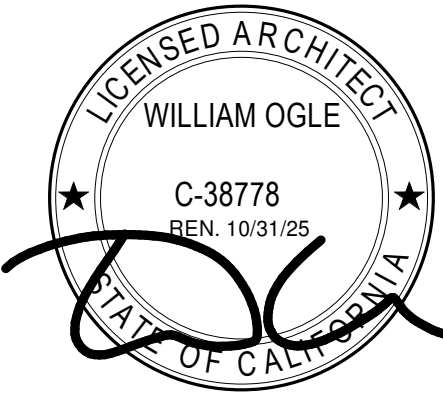
FLOOR PLAN LEGEND

	DEMOLISHED WALLS
	PROPOSED WALLS
	EXISTING WALLS
	1 HR FIRE RATED WALL
	NOT IN PROJECT SCOPE



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER

BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT

OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR

LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER

MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER

PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

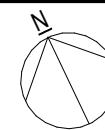
MEP ENGINEER

M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

SCALE As indicated



PLANS (EXISTING & DEMO)

A2.0

NOTES: GENERAL FLOOR PLAN

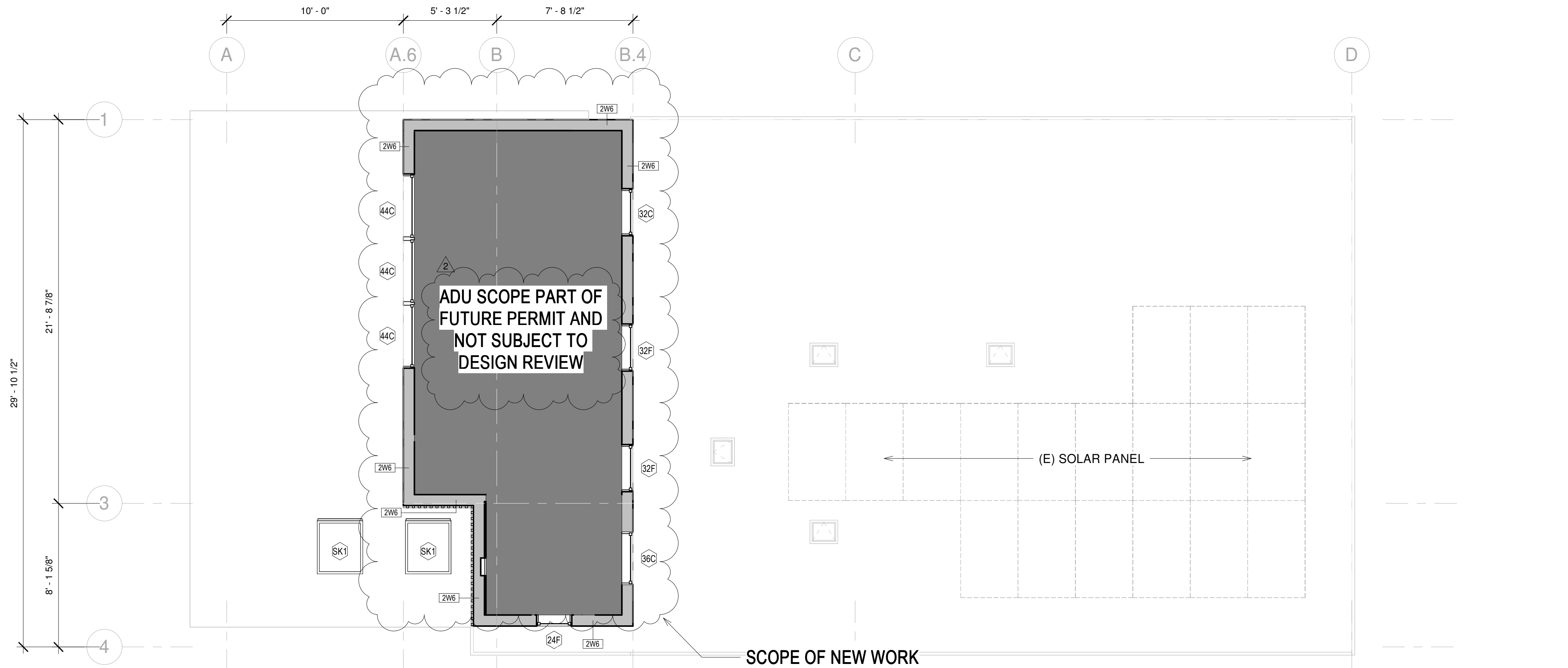
1. ALL (N) WALLS TYPE "1W" U.O.N. SEE WALL SCHEDULE
2. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
3. DOORS NOT LOCATED BY DIMENSION SHALL BE LOCATED WITH 4" JAMB, U.O.N.
4. PROVIDE MINIMUM INSULATION SPECIFIED IN ENERGY REPORT IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED WHEN WALL CAVITY IS EXPOSED EXCEPT IN FRONT OF CONCRETE BASEMENT PONY WALL.
5. PROVIDE VAPOR BARRIER AND BACKERBOARD FOR WET AREAS TO RECEIVE TILE FINISH. PROVIDE GREEN BOARD AT ALL DAMP LOCATIONS AND PLUMBING WALLS.
TABLE 2509.2 BACKERBOARD MATERIALS:
CBC 2509.2 GLASS MAT GYPSUM BACKING PANEL (ASTM C1178);
NONASBESTOS FIBER-CEMENT BACKER BAORD (ASTM C1288 OR ISO 8336, CATEGORY C); NONASBESTOS FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNIT (ASTM1325)
6. WOOD LOCATED NEARER THAN 8" TO EARTH SHALL BE PRESSURE TREATED WOOD.
7. ALL TOILETS AND SINKS TO HAVE A MINIMUM CLEARANCE OF 15" ON EITHER SIDE AND MIN. 24" IN FRONT
8. HOT WATER HEATER, FURNACE, DRYER, FANS AND ALL EQUIPMENT REQUIRING SO SHALL HAVE VENTILATION TO THE OUTSIDE AS PER THE MANUFACTURERS SPECIFICATIONS AND LOCAL CODE, MIN. 36" FROM OPERABLE OPENINGS
9. IF WATER DAMAGE DISCOVERED, CORRECT AT SOURCE PRIOR TO PROCEEDING WITH TYPICAL MEANS & METHODS OF CONSTRUCTION.
10. PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH.
11. ALL (N) TOILETS SHALL HAVE MAX 1.28 GALLON/FLUSH.
(N) FAUCETS TO HAVE A MAX FLOW OF 1.2 GPM AND (N) KITCHEN FAUCETS A MAX FLOW OF 1.8 GPM. (N) SHOWER HEAD TO HAVE A MAX FLOW OF 1.8 GPM. WHEN THERE ARE 2 SHOWERHEADS A DIVERTER MUST BE PROVIDED OR A TWO VALVES.
12. KITCHEN EXHAUST SYSTEM TO BE INSTALLED & OPERATE TO MEET ASHRAE 62.2 STANDARD. MIN ONE BATHROOM FAN TO RUN CONTINUOUSLY OR AUTOMATICALLY RUN INTERMITTENTLY PER ASHRAE 62.2. ALL OTHER BATHROOM FANS SHALL INCLUDE "ENERGY STAR" AND "HVI" LABELS. BATHROOM FAN OR FAN CONTROL SHALL BE CONTROLLED BY HUMIDISTAT CONTROL.
13. AT LEAST (1) ENTRY DOOR, (1) DOOR TO A BEDROOM AND (1) DOOR TO A BATHROOM ON THE ENTRY LEVEL SHALL PROVIDE A NET CLEAR OPENING OF NOT LESS THAN 32" (812.8MM) MEASURED WITH DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION, OR IN THE CASE OF SECOND OR THIRD FLOOR OF THE DWELLING IF A BATHROOM OR BEDROOM IS NOT LOCATED ON ENTRY LEVEL. PER CRC R327.1.3
14. AT LEAST ONE BATHROOM ON THE ENTRY ELVEL SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT INSTALLED IN ACCORDANCE WITH CRC R327.1.1
15. ALL EXT. DOORS WILL BE PROVIDED WITH A FINISHED AND LEVEL LANDING EXTENDING THE CONINOUS WIDTH OF THE DOORWAY W/ A 7 3/4" MAX STEP DOWN FROM INTERIOR FINISHED FLOOR.
16. RODENT ROOFING ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, ETC SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS PER CGBSC SEC. 4.410.1
17. CONCRETE SLAB FOUNDATIONS ARE REQUIRED TO HAVE VAPOR RETARDER & CAPILLARY BREAK.
18. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL & FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEEDS 19% MOISTURE CONTENT.

KEYNOTE LEGEND

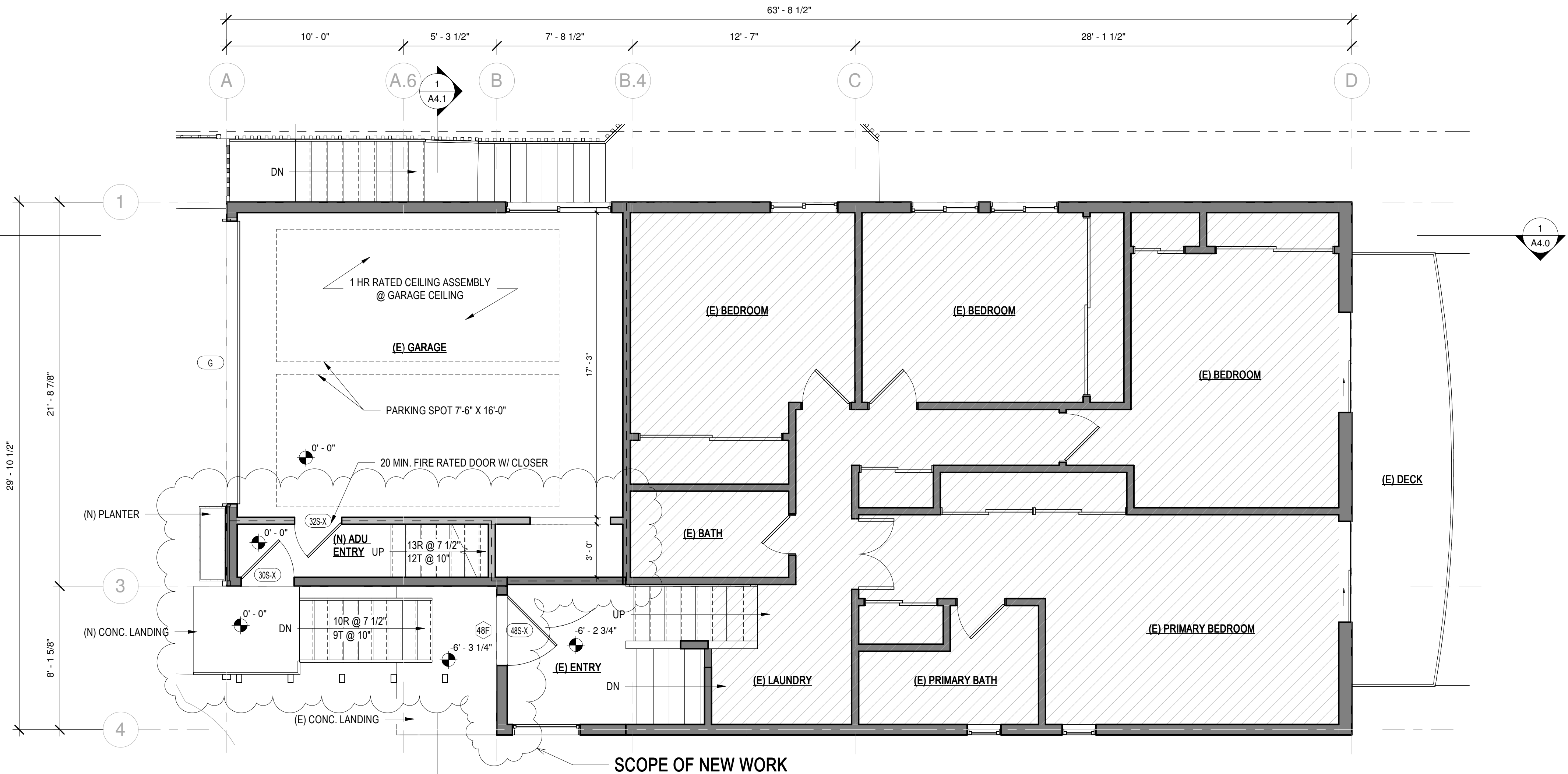
#	DESCRIPTION
---	-------------

FLOOR PLAN LEGEND

- | | |
|--|----------------------|
| | DEMOLISHED WALLS |
| | PROPOSED WALLS |
| | EXISTING WALLS |
| | 1 HR FIRE RATED WALL |
| | NOT IN PROJECT SCOPE |



1 PROPOSED ADU LEVEL
1/4" = 1'-0"

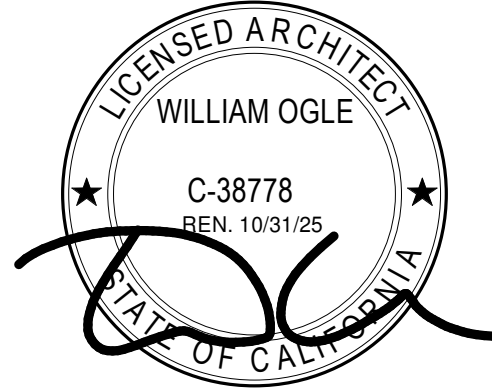


3 PROPOSED ENTRY LEVEL
1/4" = 1'-0"



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER

BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT

OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR

LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER

MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER

PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

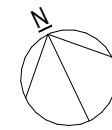
MEP ENGINEER

M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

CITY STAMPING AREA

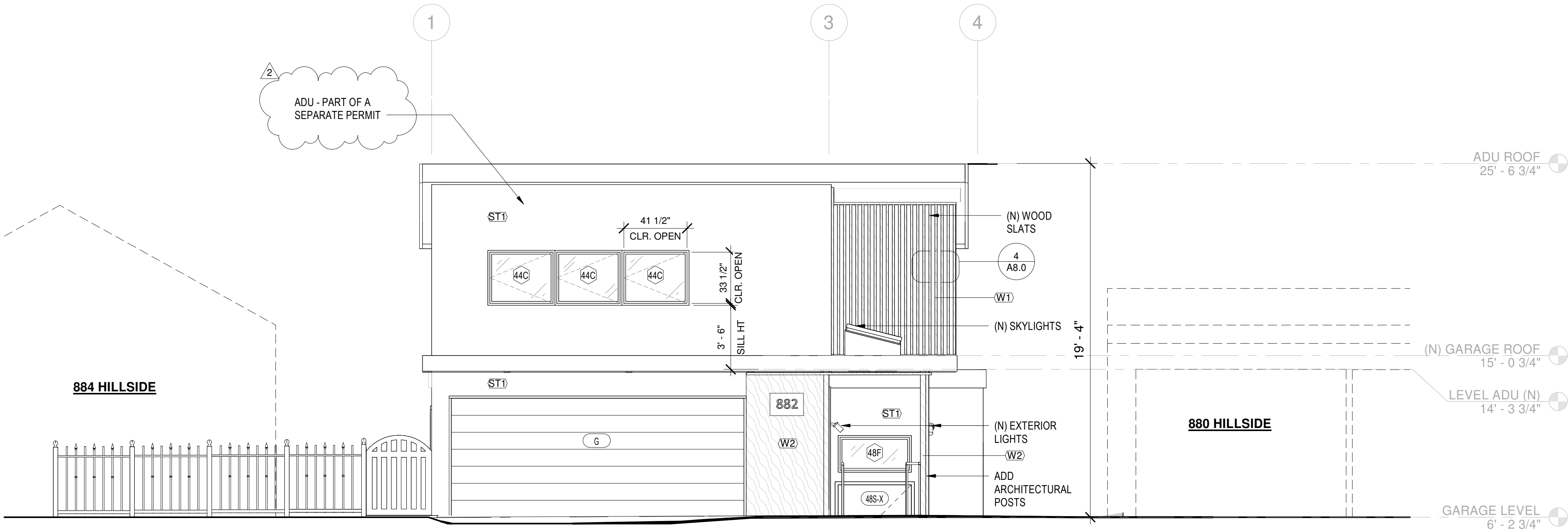
SCALE As indicated



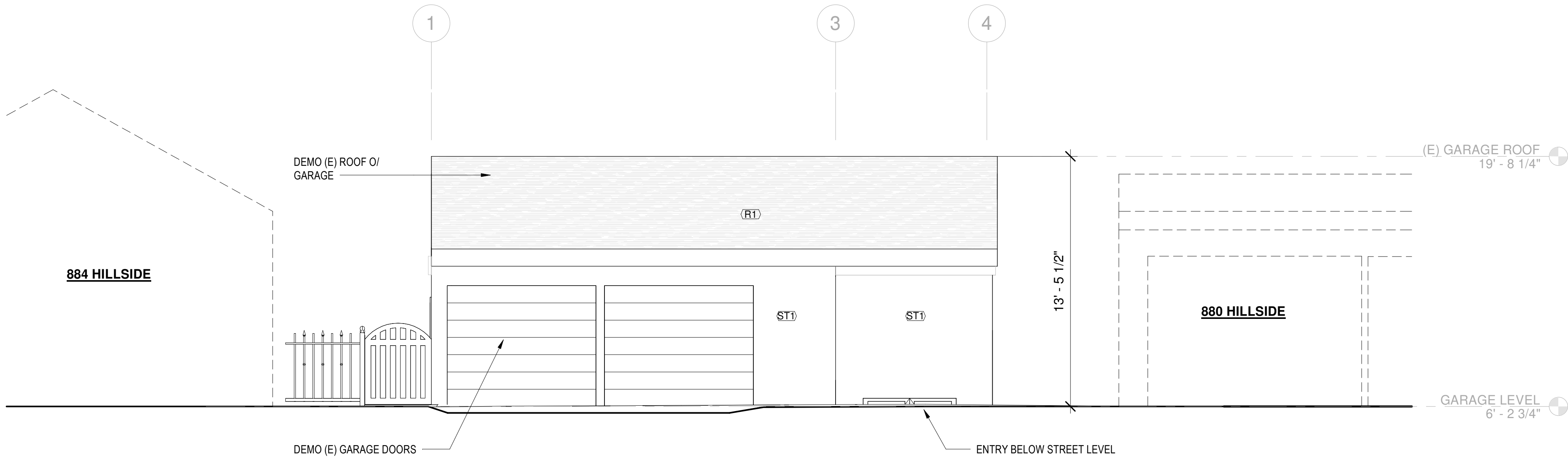
PLANS (PROPOSED)

A2.1

FINISH LEGEND	
#	DESCRIPTION
R1	ROOF, COMPOSITE SHINGLES, SEE FINISH ADDENDUM
ST1	STUCCO FINISH, SEE FINISH ADDENDUM
W1	WOOD W/ STAIN TYPE 1, SEE FINISH ADDENDUM
W2	WOOD W/ STAIN TYPE 2, SEE FINISH ADDENDUM



2 PROPOSED ELEVATION - EAST (FRONT)
1/4" = 1'-0"

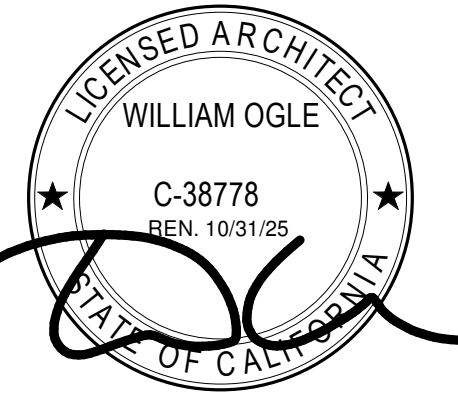


1 EXISTING ELEVATION - EAST (FRONT)
1/4" = 1'-0"



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER

BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT

OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR

LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER

MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER

PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER

M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

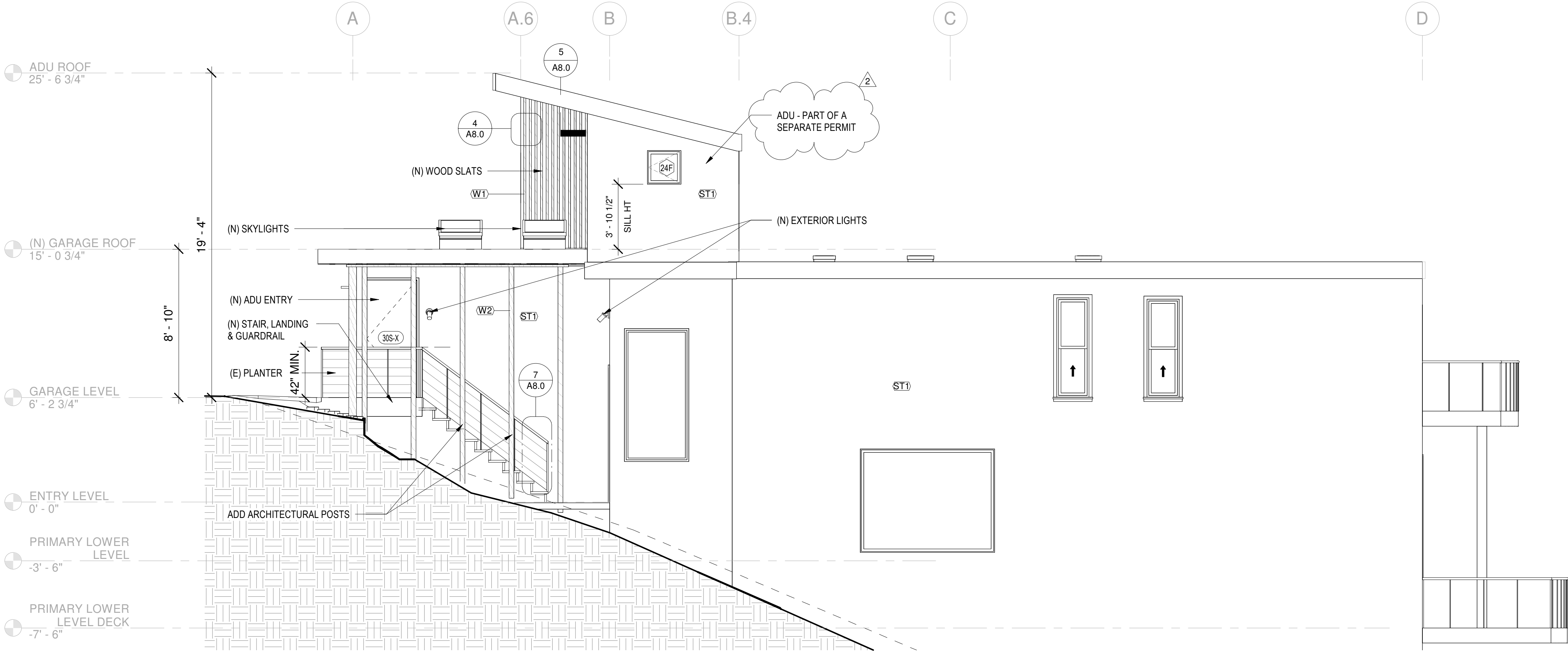
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

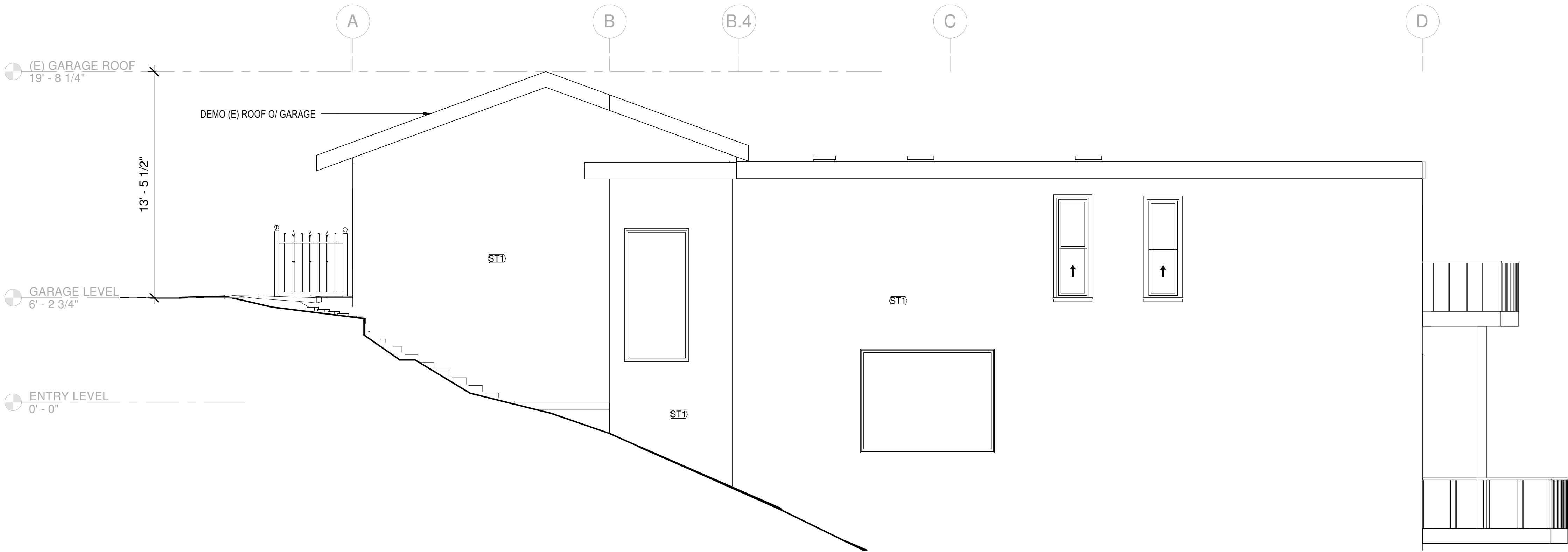
ELEVATIONS - EAST
(FRONT)

A3.0

FINISH LEGEND	
#	DESCRIPTION
ST1	STUCCO FINISH, SEE FINISH ADDENDUM
W1	WOOD W/ STAIN TYPE 1, SEE FINISH ADDENDUM
W2	WOOD W/ STAIN TYPE 2, SEE FINISH ADDENDUM



1 PROPOSED ELEVATION - SOUTH
1/4" = 1'-0"

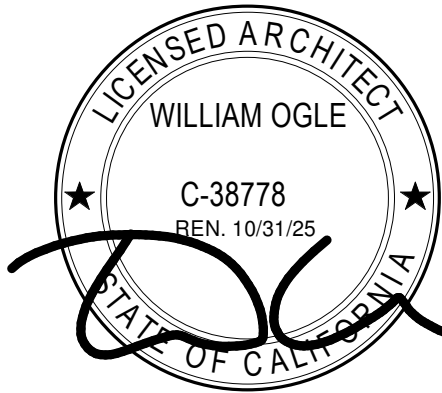


2 EXISTING ELEVATION - SOUTH
1/4" = 1'-0"



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER

BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT

OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR

LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER

MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER

PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER

M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

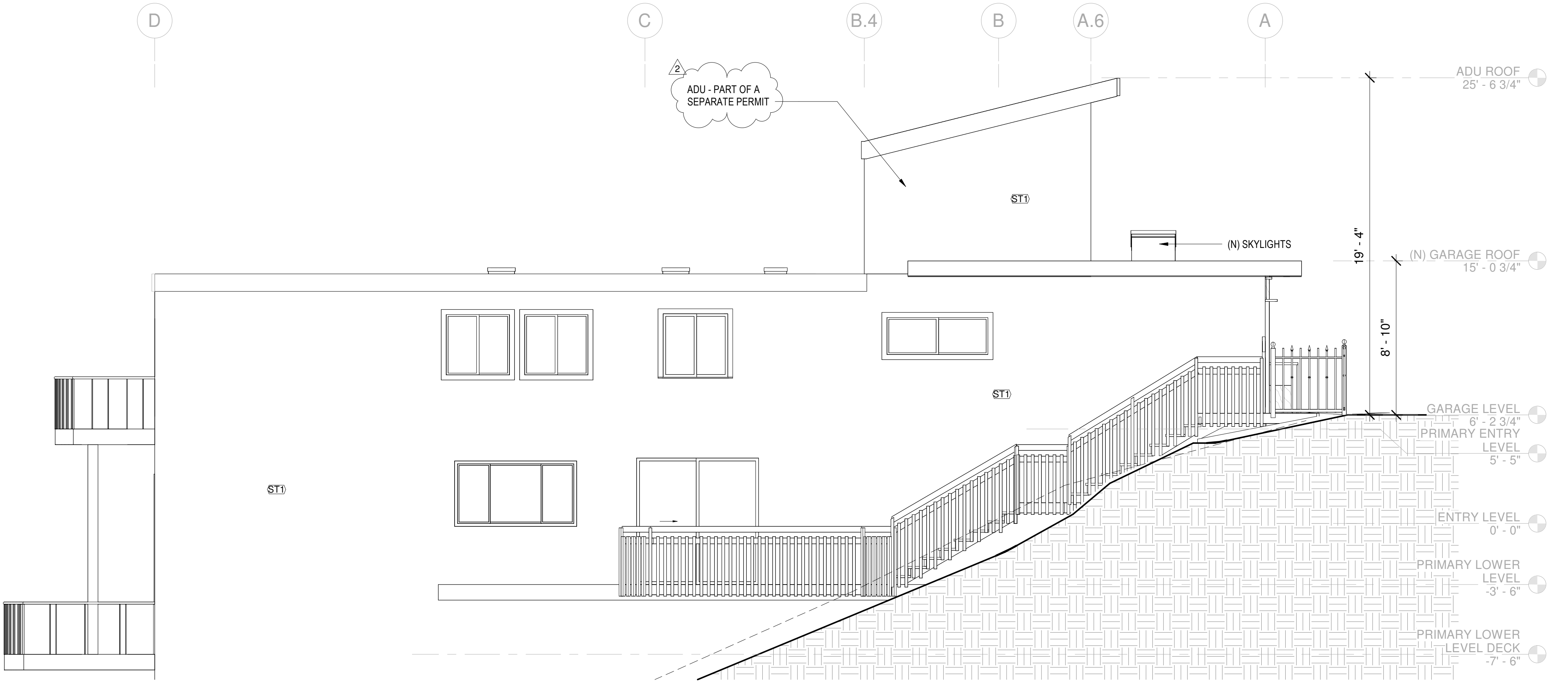
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

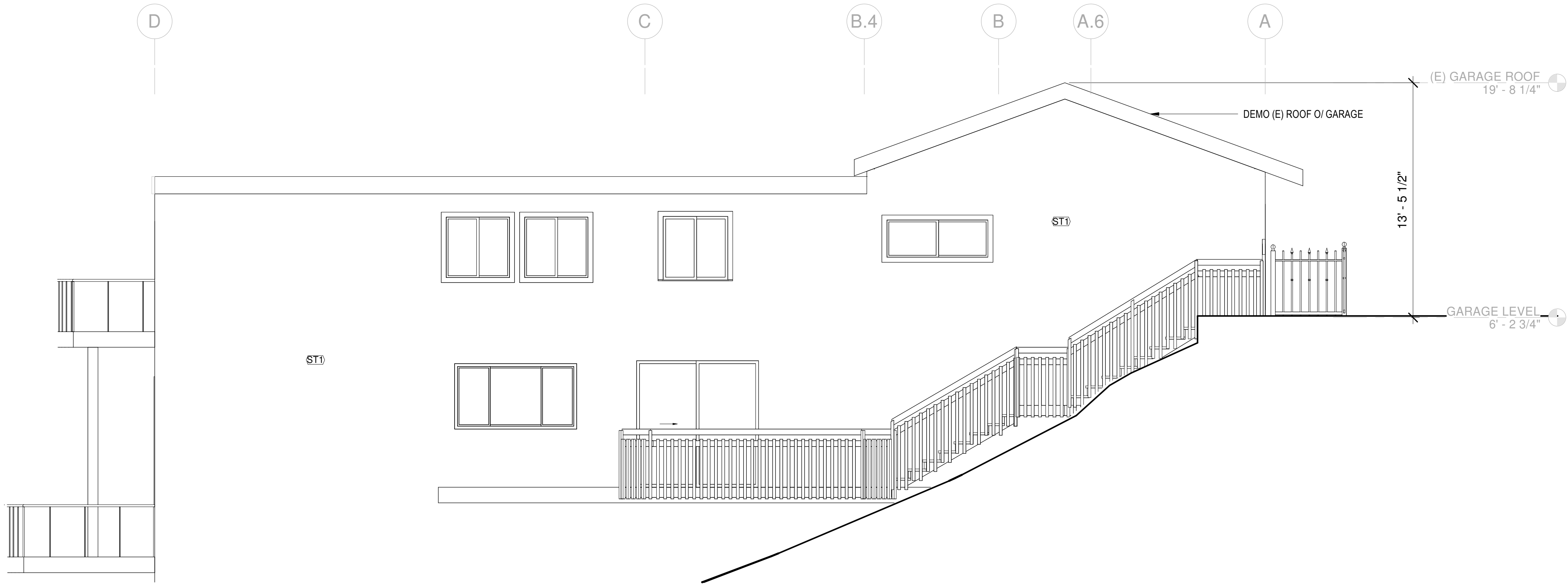
ELEVATIONS- SOUTH

A3.1

FINISH LEGEND	
#	DESCRIPTION
ST1	STUCCO FINISH, SEE FINISH ADDENDUM



2 PROPOSED ELEVATION - NORTH
1/4" = 1'-0"

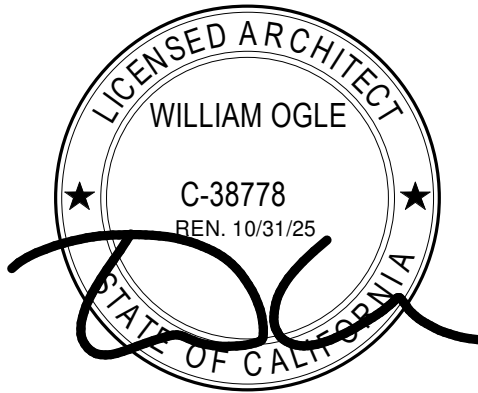


1 EXISTING ELEVATION - NORTH
1/4" = 1'-0"



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

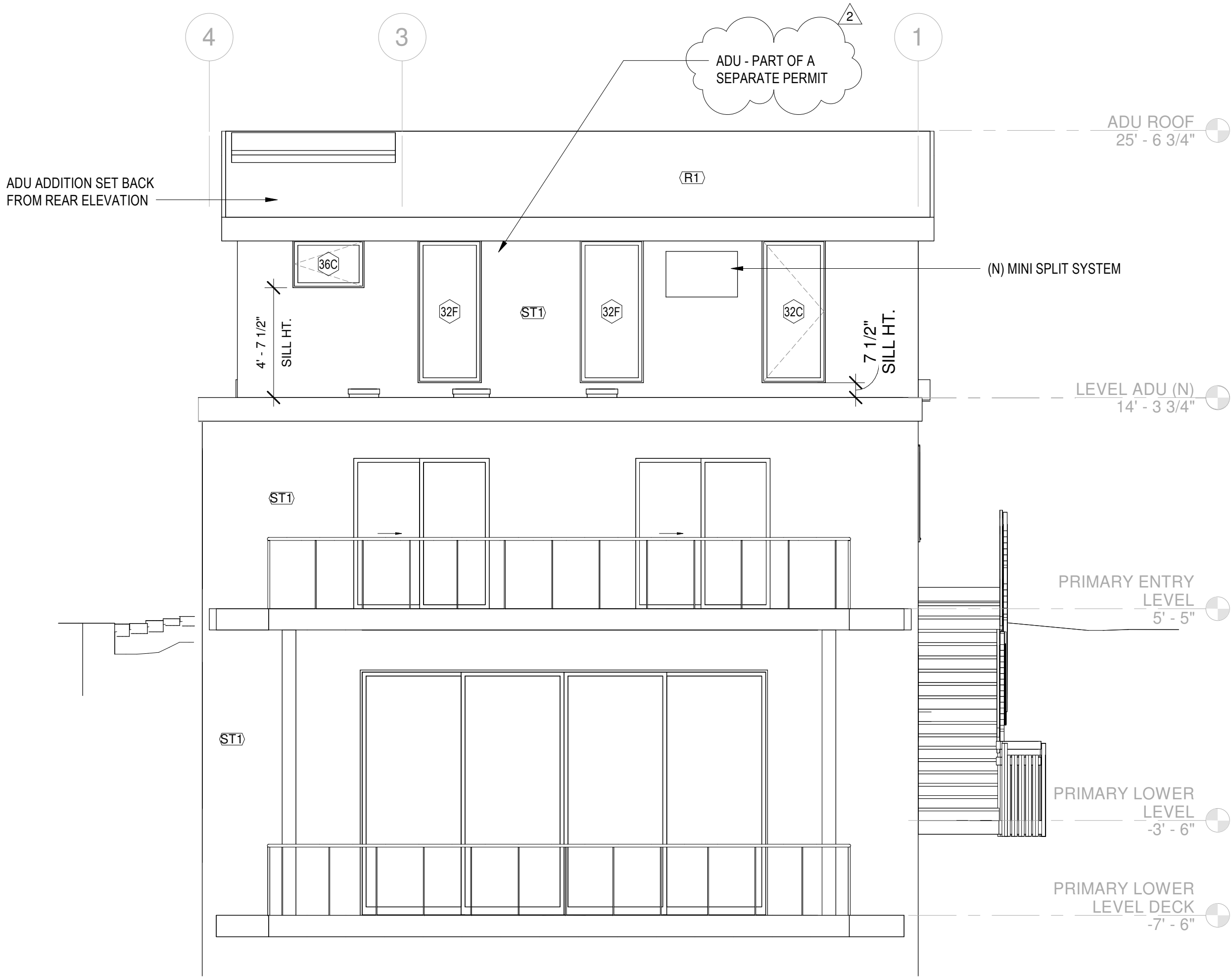
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

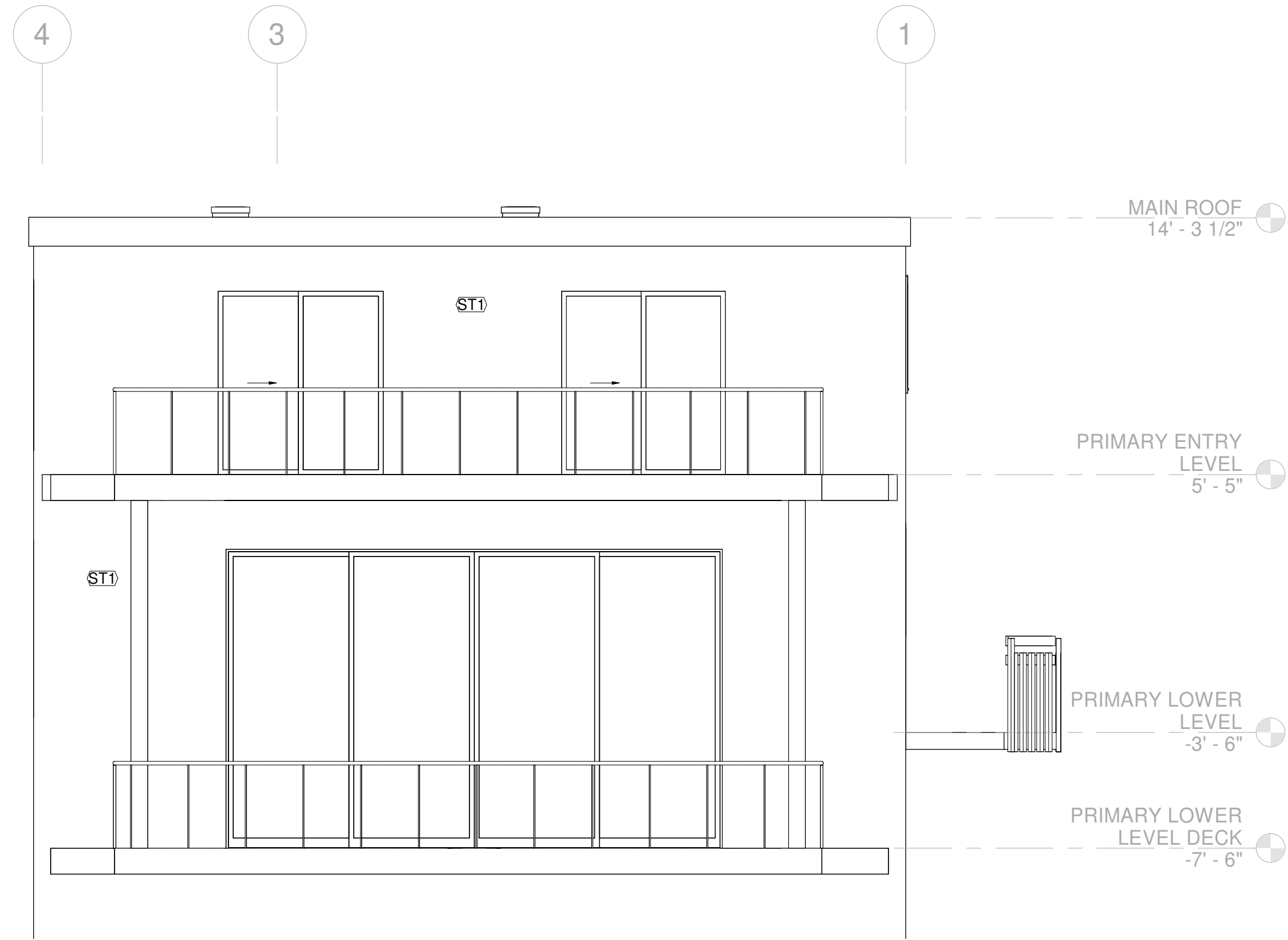
ELEVATIONS- NORTH

A3.2

FINISH LEGEND	
#	DESCRIPTION
R1	ROOF, COMPOSITE SHINGLES, SEE FINISH ADDENDUM
ST1	STUCCO FINISH, SEE FINISH ADDENDUM



2 PROPOSED ELEVATION - WEST (BACK)
1/4" = 1'-0"

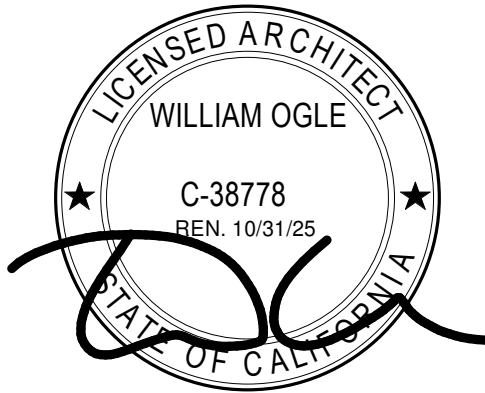


1 EXISTING ELEVATION - WEST (BACK)
1/4" = 1'-0"



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER

BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT

OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR

LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER

MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER

PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER

M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

CITY STAMPING AREA

SCALE 1/4" = 1'-0"

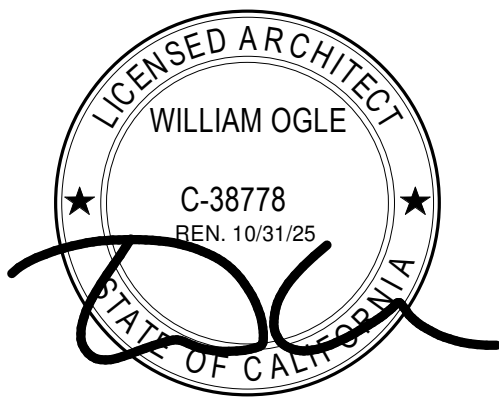
ELEVATIONS- WEST (BACK)

A3.3



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

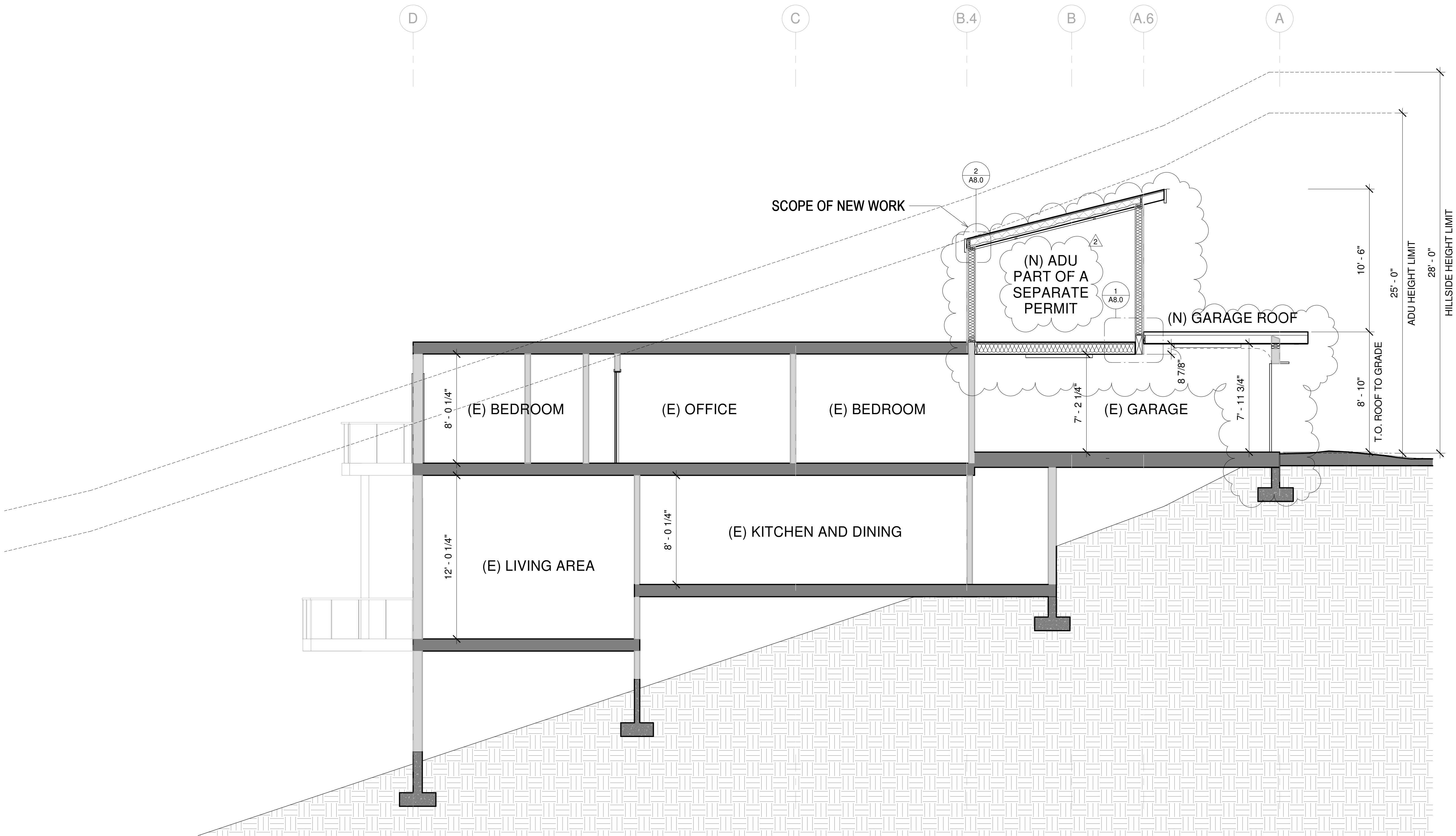
CITY STAMPING AREA

SCALE 1/4" = 1'-0"

SECTION PROPOSED- SITE

A4.0

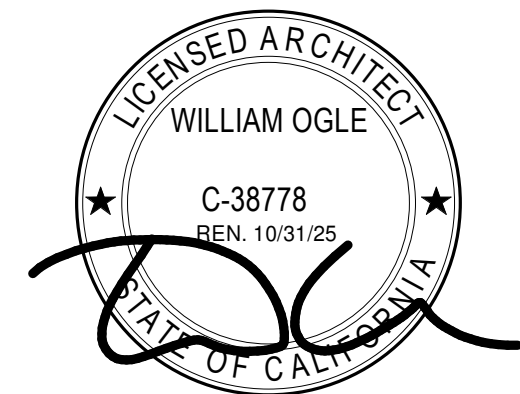
11/26/2025 2:49:12 PM



SECTION NORTH TO SOUTH-
PROPOSED
1/4" = 1'-0"



882 HILLSIDE ADU
882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

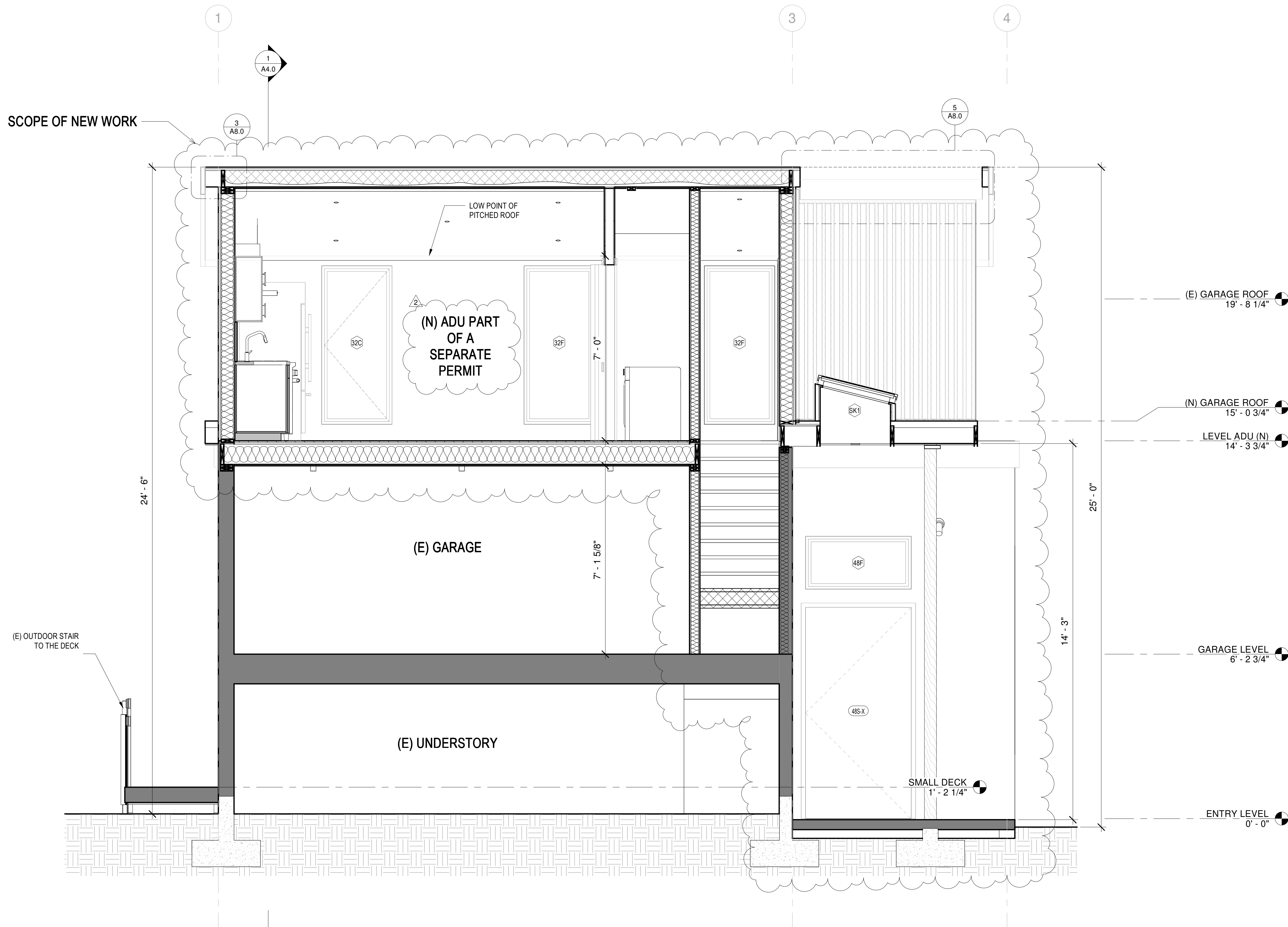
No.	Description	Date
1	PERMIT SET	09/26/2025
2	PLANNING APPLICATION	11/26/2015

CITY STAMPING AREA

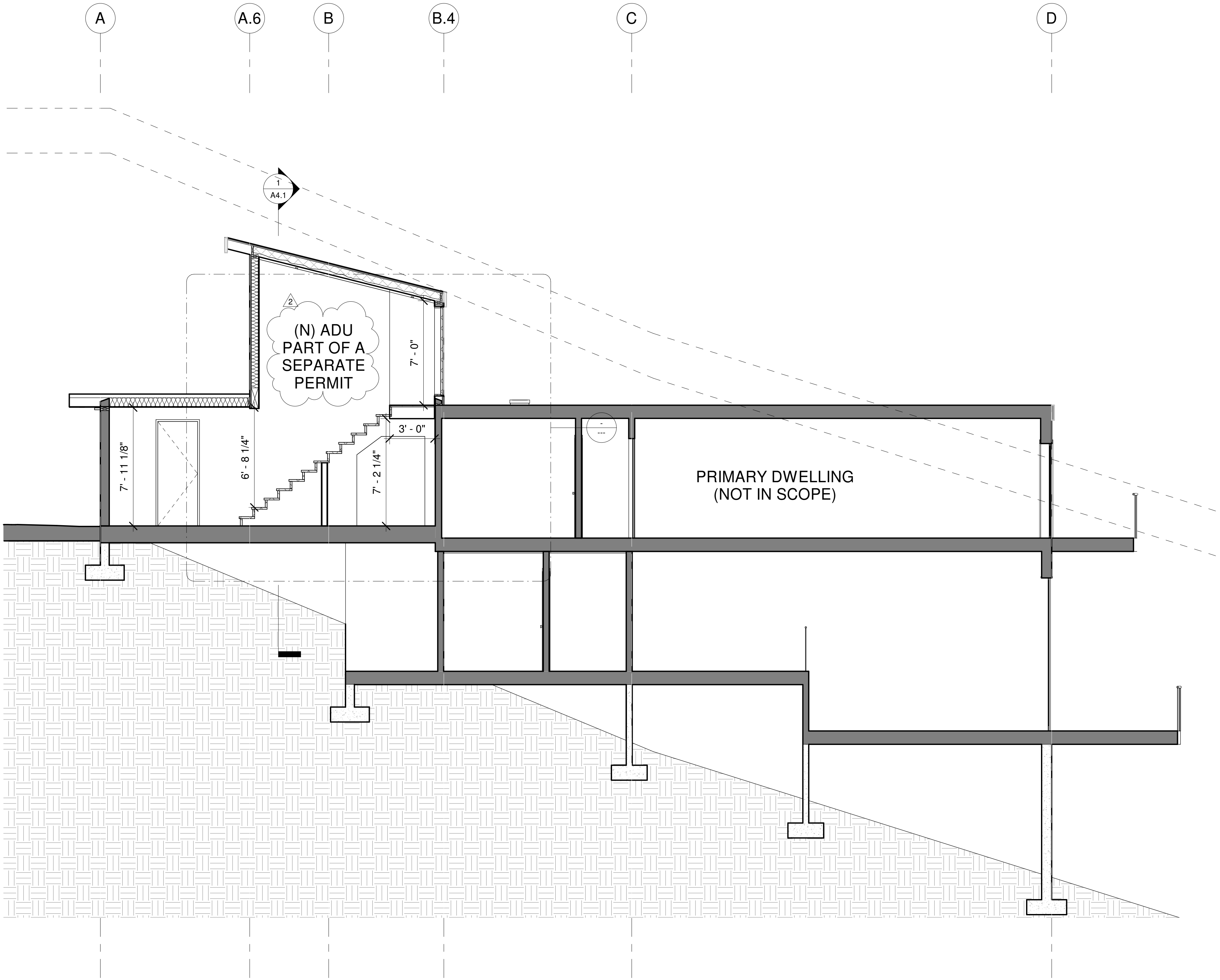
SCALE 1/2" = 1'-0"

SECTION PROPOSED-
EAST/WEST

A4.1



1 SECTION EAST TO WEST- PROPOSED
1/2" = 1'-0"

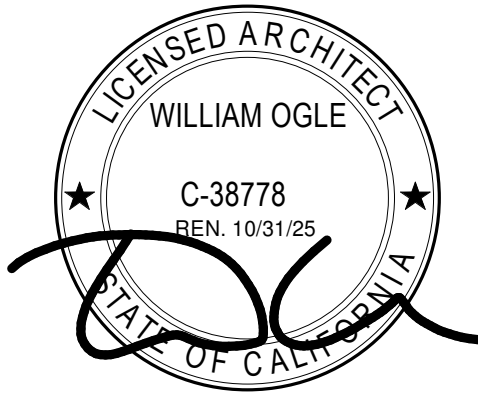


① SECTION SOUTH TO NORTH
1/4" = 1'-0"



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
2	PLANNING APPLICATION	11/26/2015

CITY STAMPING AREA

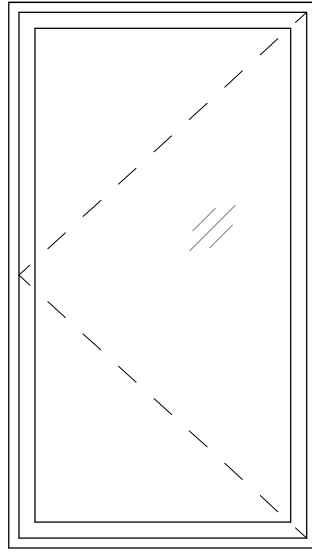
SCALE 1/4" = 1'-0"

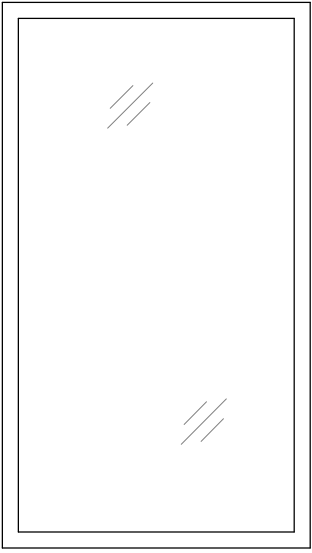
SECTION PROPOSED-
NORTH/ SOUTH

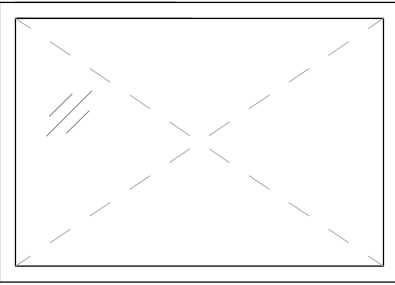
A4.2

WINDOW TYPES

NOTE: SEE SCHEDULE FOR ALL TYPES IN PROJECT, DIMENSIONS, MATERIALS, FINISHES, AND HARDWARE.







TYPE WT1
CASEMENT

TYPE WT2
FIXED

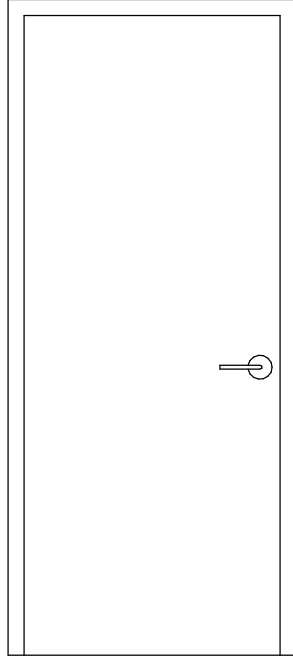
TYPE WT3
SKYLIGHT

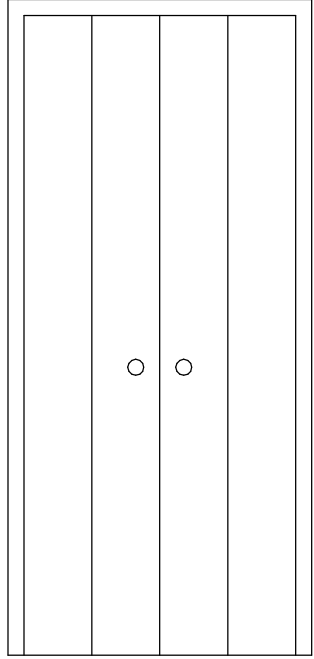
WINDOW SCHEDULE						
#	ITEM	TYPE	SIZE	SILL HT	GLASS TYPE	COMMENTS
PRIMARY ENTRY LEVEL						
48F	FIXED	WT2	48" x 24"	3' - 3 3/8"	TEMPERED	
LEVEL ADU (N)						
24F	CASEMENT	WT1	24" X 24"	4' - 7 1/2"		
32C	CASEMENT	WT1	32" X 72"	0' - 7 1/2"	TEMPERED	
32F	FIXED	WT2	32" x 72"	0' - 7 1/2"	TEMPERED	
36C	CASEMENT	WT1	36" X 24"	4' - 7 1/2"	TEMPERED	
44C	CASEMENT	WT1	44" X 36"	3' - 6"		EGRESS WINDOW
(N) GARAGE ROOF						
SK1	Skylight-Flat	WT7	30" x 36"		TEMPERED	EXTERIOR SKYLIGHT, FIXED

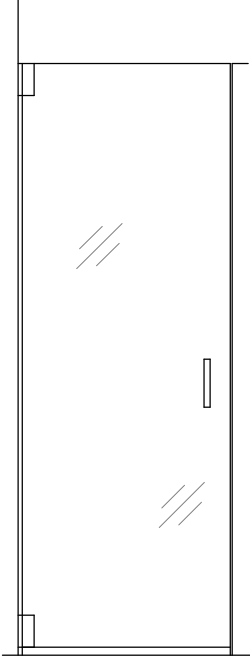
NOTE: ALL WINDOWS MUST BE VERIFIED TO MEET REQUIREMENTS OF ENERGY REPORT PRIOR TO ORDER. VERIFY WINDOW SPECIFICATIONS ARE COMPATIBLE WITH WINDOW DETAILS IN SET.

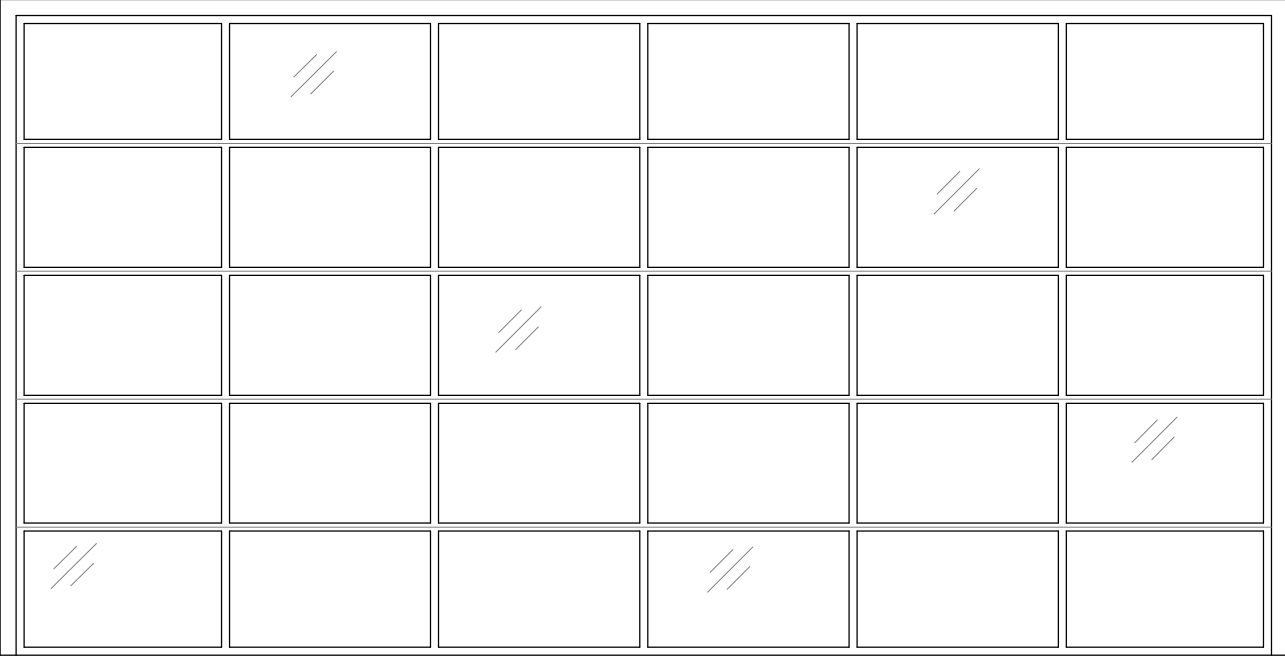
DOOR TYPES

NOTE: SEE SCHEDULE FOR ALL TYPES IN PROJECT, DIMENSIONS, MATERIALS, FINISHES, AND HARDWARE.









TYPE DT1
SWING

TYPE DT2
DBL BIFOLD

TYPE DT3
GLASS DOOR

TYPE DT4
GARAGE DOOR

DOOR SCHEDULE											
#	ITEM	TYPE	WIDTH	HEIGHT	THICK	HARDWARE TYPE	PANEL MAT	PANEL FIN	FRAME MAT	FRAME FIN	COMMENTS
30S	SWING SHOWER	DT3	2' - 6"	6' - 8"	1/2"		GLASS				TEMPERED GLASS
30S-P	SWING SINGLE FLUSH	DT1	2' - 6"	6' - 8"	1 3/8"		SOLID CORE				
30S-X	EXT SWING SINGLE FLUSH	DT1	3' - 0"	7' - 0"	1 3/4"		SOLID CORE				
32S-X	EXT SWING SINGLE FLUSH	DT1	2' - 8"	7' - 0"	1 3/4"		SOLID CORE				
48B	BIFOLD	DT2	4' - 0"	6' - 8"	1 3/8"		SOLID CORE				
48S-X	EXT SWING SINGLE FLUSH	DT1	4' - 0"	8' - 0"	1 3/4"		SOLID CORE				
G	GARAGE DOOR	DT4	16' - 0"	6' - 6"	1 3/4"		ALUM. & GLASS				TEMPERED GLAZING, FROSTED GLASS

NOTE: OVERSIZED DOOR DIMENSIONS ARE SOMETIMES MEASURED TO OUTSIDE OF FRAME DIMENSIONS (MAINTAIN MIN 80" CLR PASSAGE), COORDINATE & VERIFY PRIOR TO ORDER WITH ARCHITECT. ALL DOORS MUST BE VERIFIED TO MEET REQUIREMENTS OF ENERGY REPORT PRIOR TO ORDER. VERIFY DOOR SPECIFICATIONS ARE COMPATIBLE WITH DOOR DETAILS IN SET.

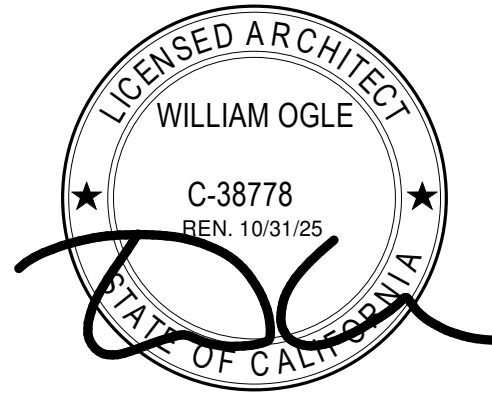
DOOR HARDWARE SCHEDULE									
KEY	TYPE	LOCKSET	CLOSER	HINGES	SILENCER KICKPLATE		COMMENTS		PROVIDED BY OWNER
B	Bifold	Dummy	No	N/A	No	No	CRL 6in Tubular 3/4in Diameter, Finish TBD.		Yes
G	Garage	Entry	No	N/A	No	No	TBD		Yes
K	Pocket	Passage	No	N/A	No	No	Emtek Hardware in Flat Black. 1-1/4" Cadet Knob when bifold or door leaf less than 28" else Stuttgart/Disk Rossette		Yes
P	Swing	Privacy	No	N/A	No	No	Emteck Hardware in Flat Black.		Yes
S	Swing	Passage	No	N/A	No	No	TBD		Yes
X	Entry Swing	Entry	No	N/A	No	No	Emtek Hardware in Flat Black or by manufacturer if integral with door		Yes
XS	Entry Folding/Sliding	Entry	No	N/A	No	No	Emtek Hardware in Flat Black. Add Deadbolt for exterior doors. Use self-closing spring hinge for garage doors.		Yes

GENERAL NOTE:
ALL (N) OR RE-USED PLUMBING FIXTURES, LIGHTING, EQUIPMENT, HARDWARE, DOORS, CASEWORK, FINISHES AND WINDOWS SHOWN IN THIS DOCUMENT SET INCLUDING THOSE LISTED AS PROVIDED BY OWNER IN THIS SCHEDULE TO BE COORDINATED & INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED. ANY ADDITIONAL ELEMENTS REQUIRED TO COMPLETE INSTALLATION IN FULL OF THE SCHEDULED ELEMENTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER. SCHEDULED ELEMENTS ARE A MINIMUM TO COMPLETE THE WORK TO A FINISHED STANDARD.



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA
94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA
94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

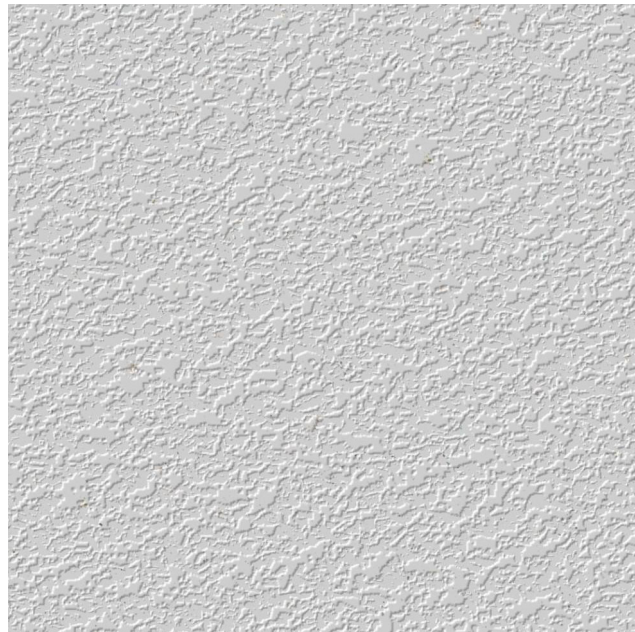
SCALE 1/2" = 1'-0"

DOOR AND WINDOW SCHEDULES

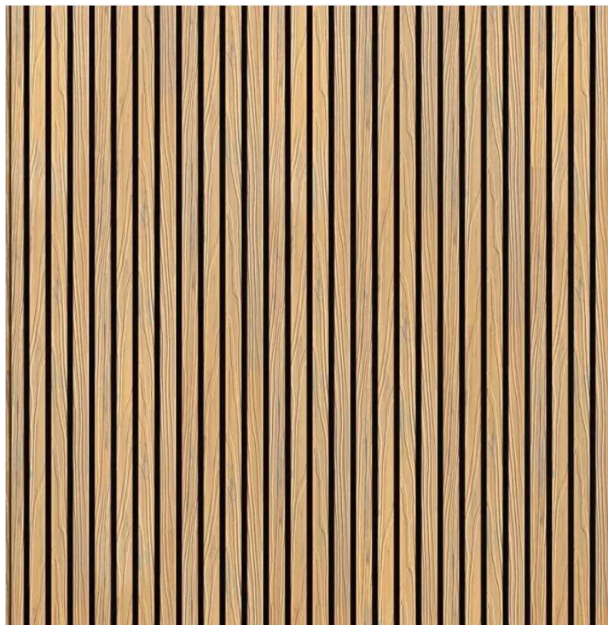
A6.0



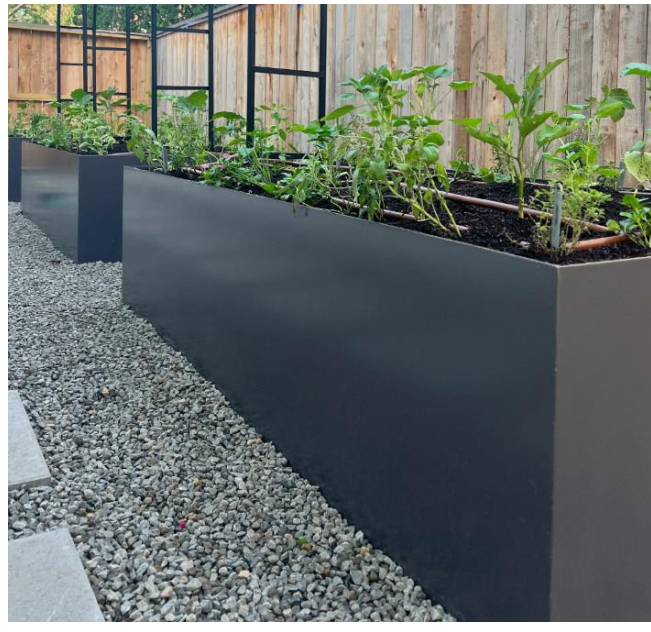
1. PAINTED BLACK FASCIA



2. PAINTED WHITE STUCCO FINISH



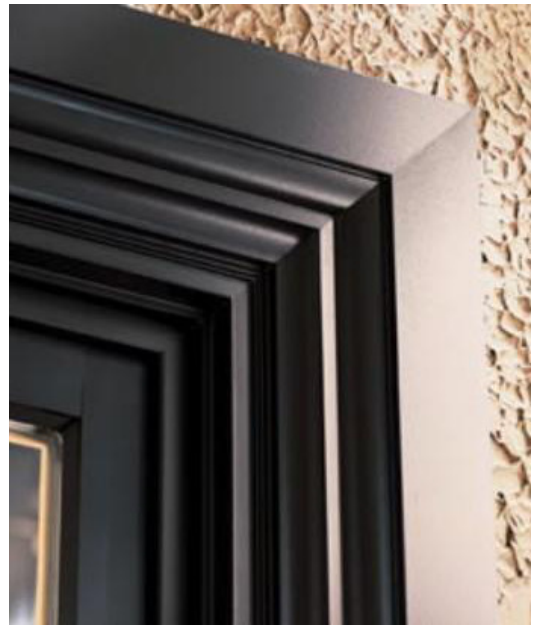
3. NATURAL WOOD SLATS



4. PAINTED BLACK STEEL PLANTER, TYP.



5. ALUMINUM SKYLIGHT



6. BLACK ALUMINUM WINDOWS, TYP.



7. BLACK ALUMINUM GARAGE DOOR WITH TEXTURED GLASS PANELS



1. PAINTED BLACK FASCIA

2. PAINTED WHITE STUCCO FINISH

3. NATURAL WOOD SLATS

4. PAINTED BLACK STEEL PLANTER, TYP.

5. ALUMINUM SKYLIGHT

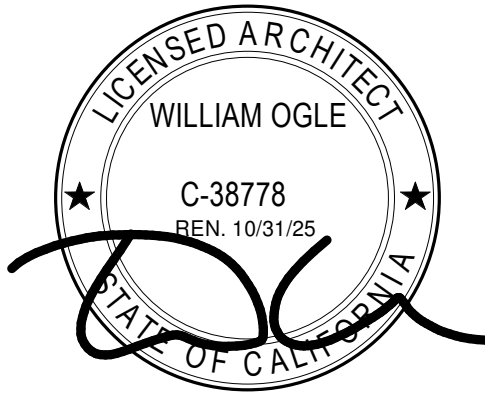
6. BLACK ALUMINUM WINDOWS, TYP.

7. BLACK ALUMINUM GARAGE DOOR WITH TEXTURED GLASS PANELS



882 HILLSIDE ADU

882 HILLSIDE AVE, ALBANY, CA 94706



OWNER
BLAKE AND SUSAN YEAMAN
882 HILLSIDE AVE, ALBANY, CA 94706

ARCHITECT
OGLE DESIGN
1250 ADDISON ST SUITE 105
BERKELEY, CA 94702
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

SURVEYOR
LEA & BRAZE ENGINEERING, INC
7011 KOLL CENTER PKWY. SUITE 160
PLEASANTON, CA 94566
P. 510 887 4086

GEOTECHNICAL ENGINEER
ROCKRIDGE GEOTECHNICAL INC.
1350 OCEAN AVE.
EMERYVILLE, CA 94608
P. 510 420 5738

STRUCTURAL ENGINEER
MKM & ASSOCIATES
5880 COMMERCE BLVD #105
ROHNERT PARK, CA 94928
P. 707 578 8185

ENERGY ENGINEER
PRECISE GREEN CONSULTING
E. RAFFI@PRECISEGREENCONSULTING
P. 818-446-6563

MEP ENGINEER
M+R ENGINEERING CONSULTANTS INC.
42840 CHRISTY STREET SUITE 217
FREMONT, CA 94538
P. 510 509 2362

No.	Description	Date
1	PERMIT SET	09/26/2025

CITY STAMPING AREA

SCALE

RENDERINGS / MATERIAL
SELECTION

A9.0