

PROPERTY ADDRESS:	1119 ORDWAY AVE, ALBANY, CA
PROPERTY OWNER:	BRANDON and ALISON LUCE
APN:	066 2424-15-3
ZONING:	R1-A
OCCUPANCY CLASSIFICATION:	R-3
LOT SIZE:	7560 s.f.
EXISTING BUILDING SQ. (MAIN + ADU):	3658 s.f.
EXISTING BASEMENT:	258 s.f.
PROPOSED BASEMENT:	340 s.f.
EXISTING LOT COVERAGE:	44.2%
PROPOSED LOT COVERAGE:	44.2%
PARKING: 1 EXISTING GARAGE PARKING SPACE TO REMAIN	EXISTING = 1, ADDITIONAL = 0, TOTAL REQUIRED PARKING = 1

DESIGNER/BUILDER/OWNER: BRANDON LUCE, 1119 ORDWAY STREET, ALBANY, CA 94706 PH:
510-816-0647
STRUCTURAL ENGINEER: KSF STRUCTURAL, 1805 LEIMERT BLVD, OAKLAND, CA 94602, KSFSTRUCTURAL.COM
510-531-4177

EXPAND EXISTING 256 SQ. FT. BASEMENT UNDER MAIN HOUSE TO 340 SQ. FT. NON-HABITABLE SPACE FOR STORAGE ONLY. EXPANDED BASEMENT NOT ATTACHED TO APPROVED NEW GARAGE. NO CHANGES TO EXTERIOR OF THE HOUSE.

1. TO BE DETERMINED

KILN-DRIED TO 19% MAX. MOISTURE CONTENT FOR ALTERATIONS AND MODIFICATIONS TO EXISTING FRAMING

DOUG FIR MANUFACTURED AND GRADED IN ACCORDANCE WITH THE WEST COAST LUMBER INSPECTION BUREAU STANDARD GRADING RULE NO. 17 LUMBER SHALL BE FREE OF ANY SIGNS OF VISIBLE MOLD

POSTS AND BEAMS: DOUGH FIR #1 AND BETTER

JOISTS AND RAFTERS: DOUGH FIR #2 AND BETTER


EXTERIOR WALL STUDS: DOUGH FIR #2 AND BETTER

INTERIOR WALLS: DOUGH FIR #2 AND BETTER

BLOCKING TO BE PROVIDED PER CALIFORNIA RESIDENTIAL CODE, PROVIDE BLOCKING FOR ALL CABINETS

1. The applicant shall obtain an encroachment permit from the Engineering Division prior to commencing any construction activities within any public right-of-way or easement.
2. All mud, dirt or construction debris carried off the construction site onto adjacent streets shall be removed each day. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.
3. Any damage to street improvements now existing or done during construction on or adjacent to the subject property shall be repaired to all current requirements of the City Engineer at the full expense of the applicant. This shall include sidewalk repair, slurry seal, street reconstruction or others, as may be required by the City Engineer.
4. All improvements within the public right-of-way, including curb, gutter, side-walks, driveways, paving and utilities, shall be reconstructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the Community Development Department and Chapter 14 of the City Code.
5. The existing upper sewer lateral for the subject building shall be brought into compliance with Chapter 15 of the Albany City Code and with all current requirements of the Maintenance and Engineering Division prior to Final Building Inspection.
6. The owner and builder shall comply with all City requirements regarding water pollution prevention, noise control, construction work hours, and archeological discoveries.

The map displays the neighborhood around 1119 Ordway Street, which is highlighted with a red pin. Key locations include Jewel's Terrace Park to the north, Brown Cap Soft Serve nearby, and Frates Memorial Hall to the east. Further east is Saint Mary's College High School. To the south of 1119 Ordway Street are the Epicurean Group, Espresso Roma Cafe, Magnani Poultry, and Monterey Market. The Immanuel Southern Baptist Church is located to the southeast. To the southwest are the Berkeley Natural Grocery Company and Testing For the Public. The map also shows several other streets including Francisco St, Pomen Ave, Ordway St, and Gilman St.



Ⓢ	PLUS OR MINUS	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
Ⓢ	AT	GSM	GALVANIZED SHEET METAL
Ⓢ	DIAMETER	GSWB	GYPSUM WALL BOARD
ACC	ANCHOR BOLT	HSY	HOSE
ADJ	ADJUSTABLE	HB	HOSE BIBB
BD	BOARD	INSUL	INSULATION
BETW	BETWEEN	LAV	LAVATORY
BLKS	BLACK	LVL	LEVEL
CAB	CABINET	MAX	MAXIMUM
CJ	CEILING JOIST	MECH	MECHANICAL
CLG	CEILING	MN	MINIMUM
CLO	CLOSET	MTL	METAL
CLR	CLEAR	(N)	NEV
CONC	CONCRETE	(P)	PROPOSED
D	DRYER	PERP	PERPENDICULAR
DBL	DOUBLE	PLY	PLYWOOD
DEMO	DEMOLITION	(R)	REMODEL
DN	DOWN	R	RISER
DS	DOWN SLOUT	RD	ROOF DRAIN
DW	DISHWASHER	REF	REFRIGERATOR
DWG	DRAWING	RL	RAIN LEADER
(E)	EXISTING	RM	ROOM
EL	ELEVATION	RO	ROUGH OPENING
EQ	EQUAL	SCHED	SCHEDULE
FR	FLOOR FINISH	SIM	SIMILAR
FD	FLOOR DRAIN	TBD	TREAD
FXT	FIXTURE	T&G	TONGUE & GROOVE
FL	FLASHING	TEL	TELEPHONE
FLR	FLOOR	TV	TELEVISION
FOS	FACE OF STUD	TYP.	TYPICAL
FURR	FURRING	U.O.N.	UNLESS OTHERWISE NOTED
GA	GALVE	W	WASHER
GALV	GALVANIZED	W/	WITH

FLOWLINE	 = WATER METER	 = DRAIN	 = GAS METER
 = STEP MARKER	 = STREET SIGN / POST	 = FIRE HYDRANT	 = ELECTRIC METER
 = STREET LIGHT	 = UTILITY POLE	 = SEWER / MAN-HOLE COVER	 = SOLAR COMPONENTS
PA = PLANTING AREA	 = AIR CONDITIONER	 = IRRIGATION CONTROL VALVE	 = NATURAL GAS LINE
BR = BRICK	 = UTILITY BOX	 = HOSE BIB	 = DOWNSPOUT
	EQ = EQUIPMENT	CONC = CONCRETE	WF = WATER FEATURE

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

(E) WALLS TO REMAIN

(E) WALLS, DOORS, WINDOWS TO BE REMOVED

(N) 2X STUD WALL

(N) 2X STUD LOW WALL

(N) HARDY FRAME WALL

WALL ABOVE

WALL BELOW

CENTER LINE

PROPERTY LINE

COLUMN LINE

DETAIL REFERENCE

SECTION REFERENCE

DOOR REFERENCE

WINDOW REFERENCE

REVISION CLOUD W/REV. #

A-0	Project Data, Scope of Work, Notes, Drawing Index, Framing Lumber, Vicinity
A-1	Map, Architectural Legend, Applicable Building Codes, Abbreviations, Proposed Site Plan
A-0.0	Site Survey
A-1.0	Existing & Proposed Site/Floor Plan
A-1.3	FAR Site & Floor Plans And Calculations
A-2.0	Existing & Proposed West Elevation & Photographs
A2.1	Existing & Proposed West & South Elevations

BRANDON LUCE

1119 ORDWAY ST
ALBANY, CA 94706
510-816-1647

LUCE GARAGE
 1119 ORDWAY ST.
 ALBANY, CA 94706

PROJECT DATA,
SCOPE OF WORK,
NOTES, APPLICABLE
CODES, ABBREVIATIONS
ARCHITECTURAL
LEGEND, VICINITY
MAP, PROPOSED SITE
PLAN,
PUBLIC WORKS

[illegible]

Date **03/17/2025**

Scale **as noted**

Drawn By
Brandon | use

Brandon Luce
Job
1119 ORCHARDWAY GARAGE

Sheet

A 0

A-0



REVISIONS		
NO	DESCRIPTION	DATE

LUCE GARAGE
1119 ORDWAY ST.
ALBANY, CA 94706

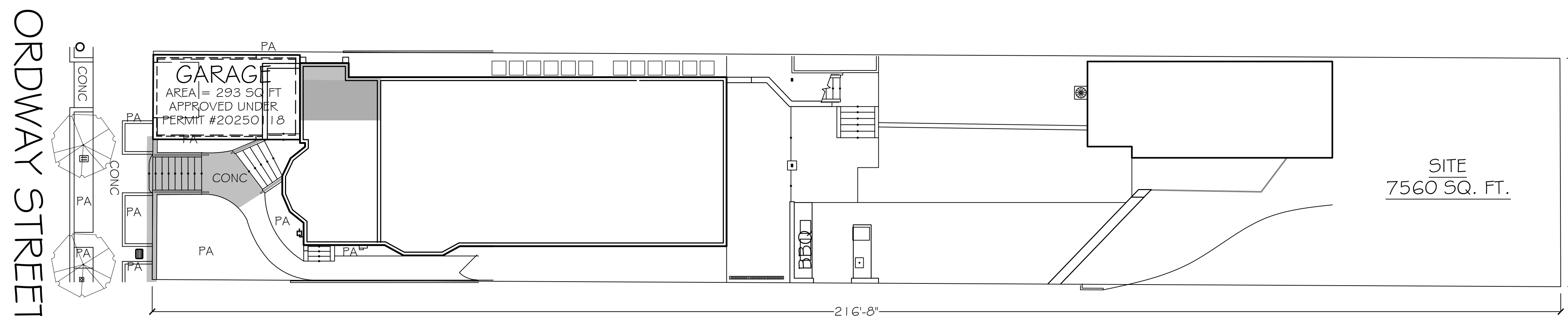
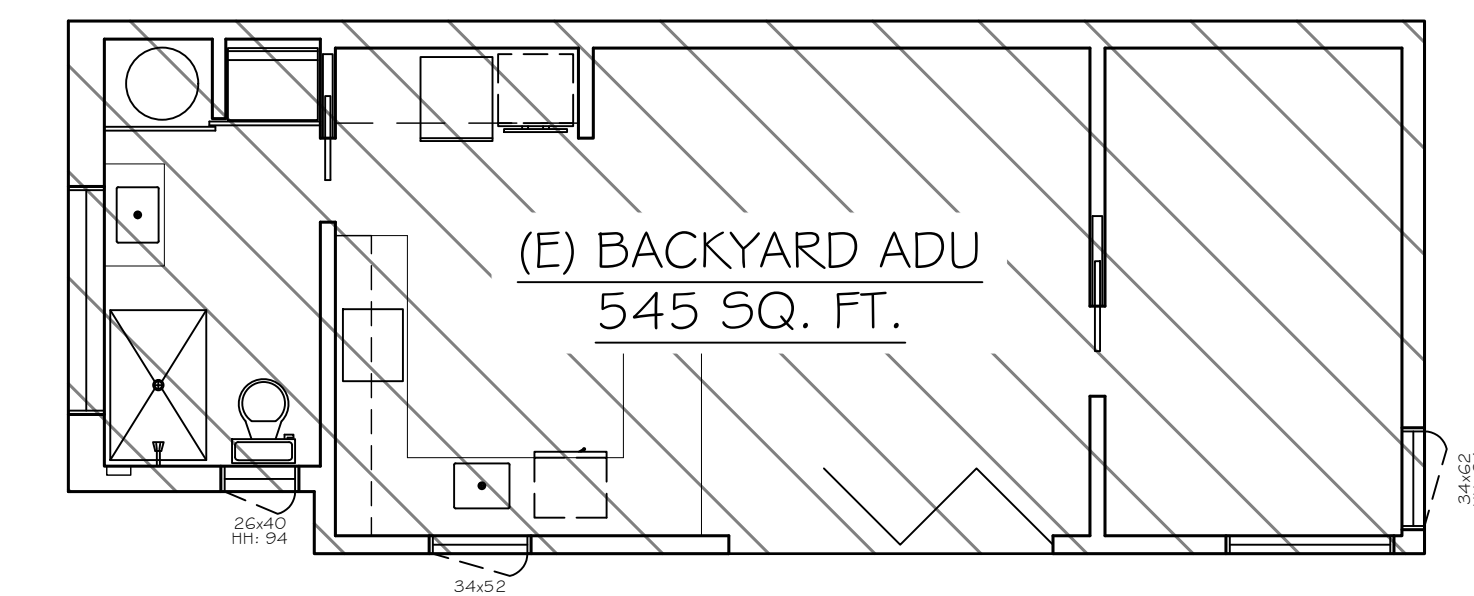
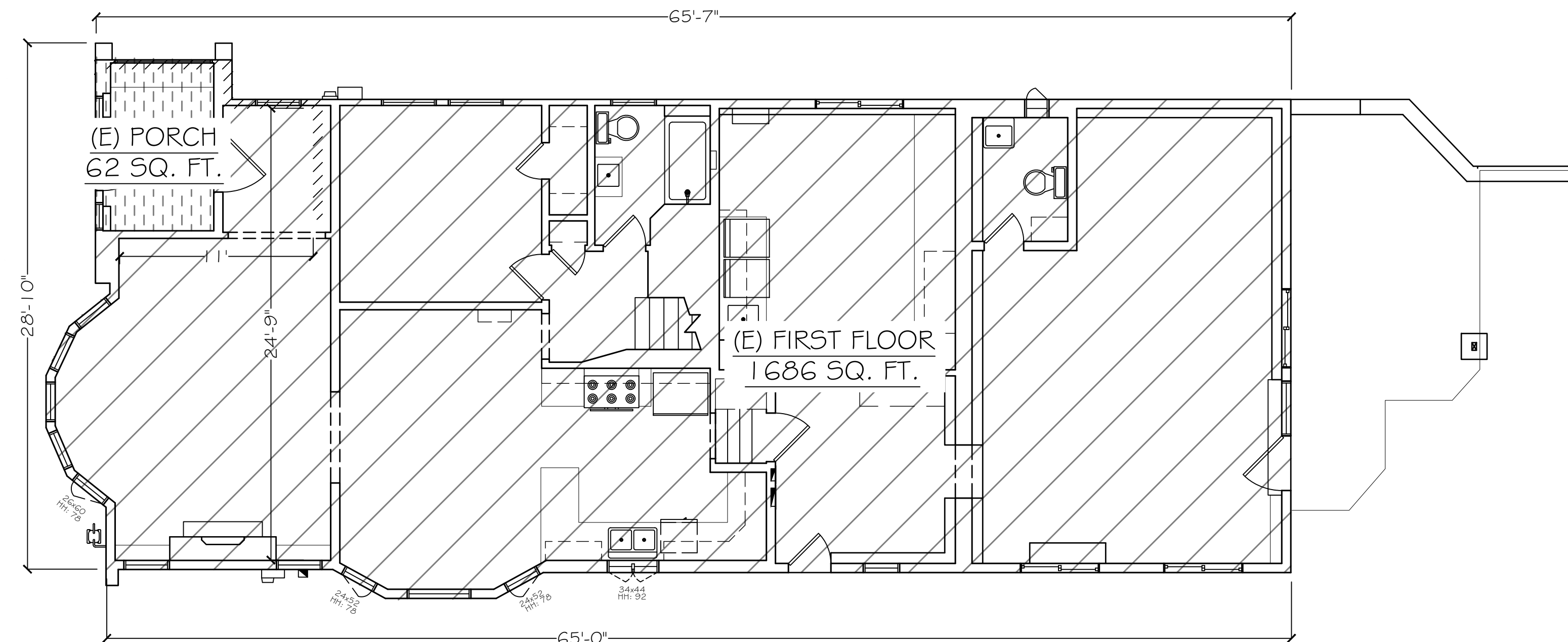
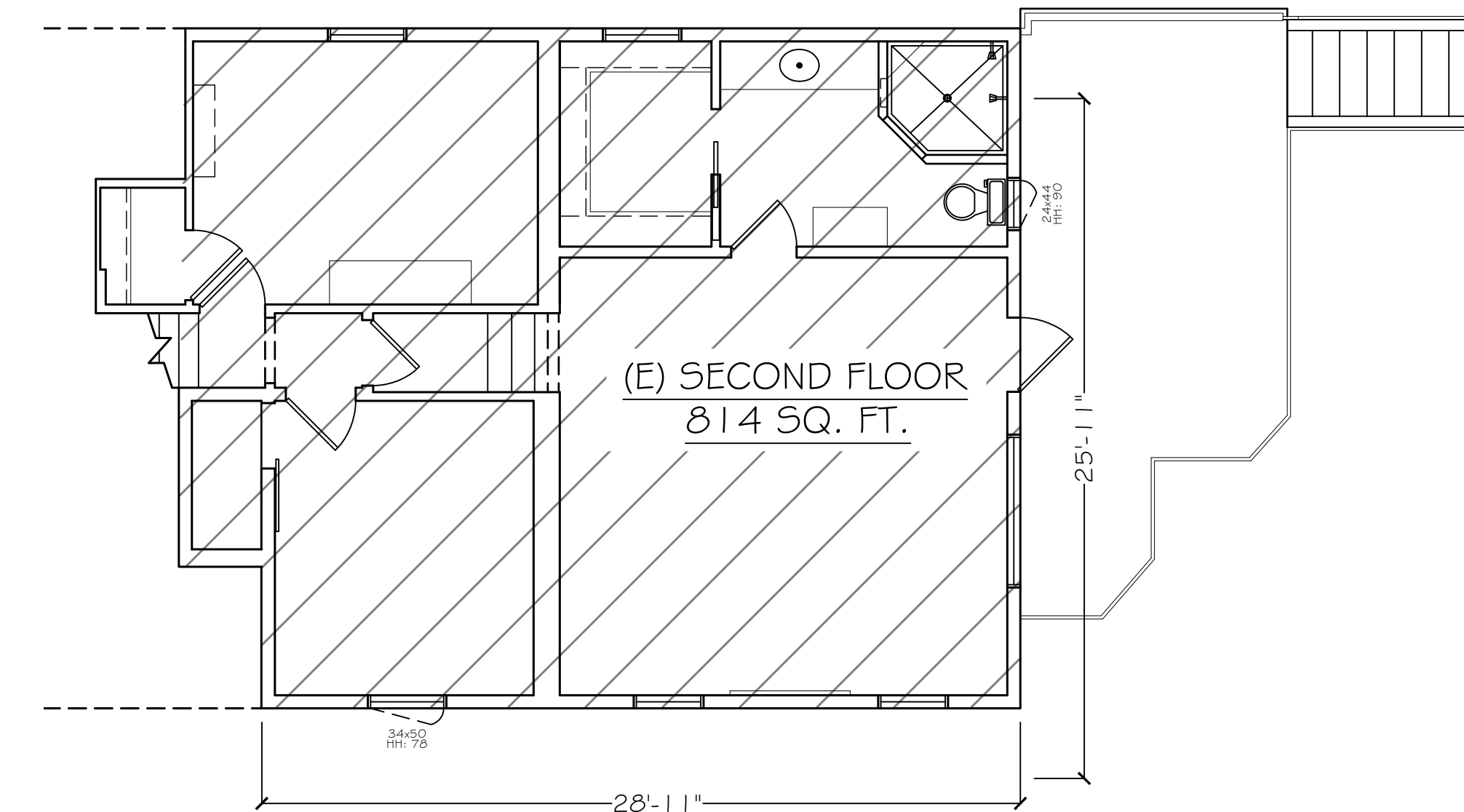
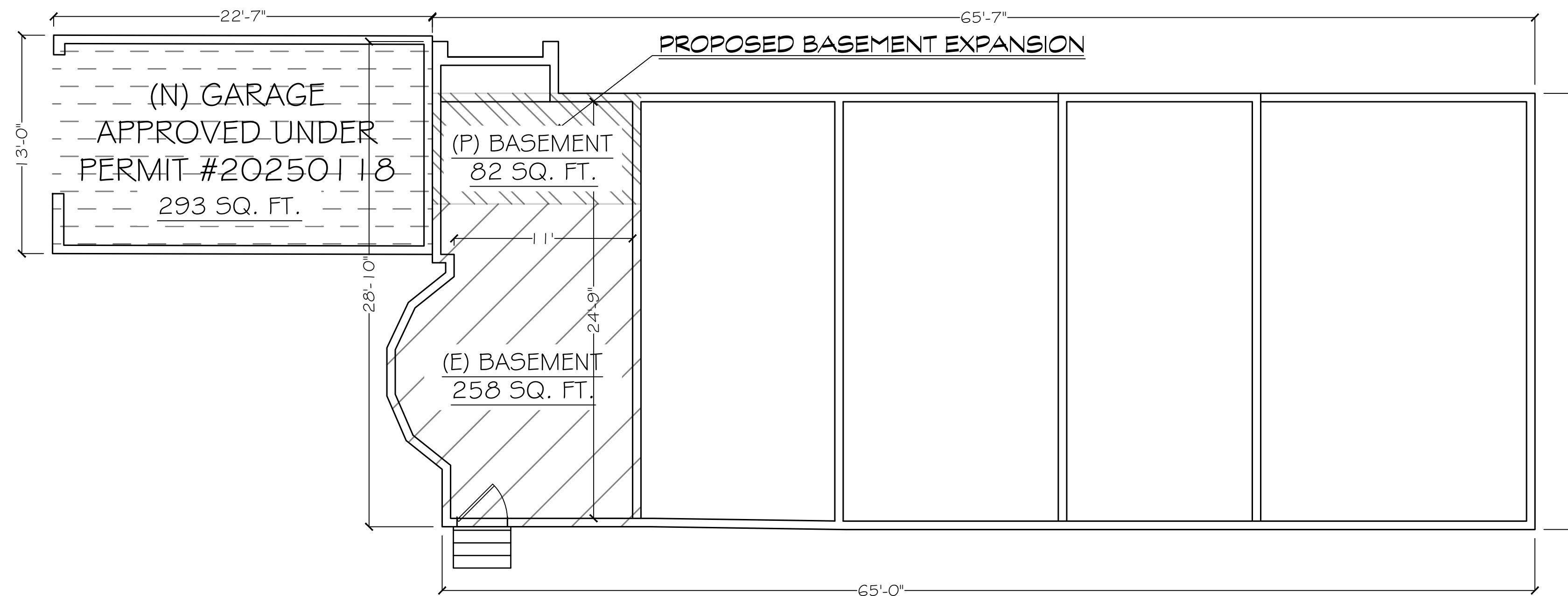
SITE SURVEY

Date: 03/16/2026
Scale: as noted
Drawn By: Brandon Luce
Job: 1119 ORDWAY
Sheet: A-O-1



- FLOWLINE**
- = STEP MARKER
 - ☀ = STREET LIGHT
 - ☐ = STREET SIGN / POST
 - ⊕ = UTILITY POLE
 - ⊗ = AIR CONDITIONER
 - ☐ = UTILITY BOX
 - 💧 = WATER METER
 - ⚡ = DRAIN
 - 🔦 = FIRE HYDRANT
 - ◯ = SEWER / MAN-HOLE COVER
 - ⊗ = IRRIGATION CONTROL VALVE
 - 🔧 = HOSE BIB
 - ⚙ = GAS METER
 - ⚡ = ELECTRIC METER
 - ☐ = SOLAR COMPONENTS
 - ⚡ = NATURAL GAS LINE
 - ⚡ = DOWNSPOUT
- BR = BRICK
- WF = WATER FEATURE
- PA = PLANTING AREA
- EQ = EQUIPMENT
- CONC = CONCRETE

[illegible]



FLOOR AREA RATIO CALCULATIONS:

LOCATION	EXISTING	PROPOSED
1) TOTAL FLOOR AREA (SQ. FT.)		
BASEMENT	258	340
MAIN LEVEL	1686	1686
SECOND FLOOR	814	814
COVERED PORCH, DECKS, PATIOS	62	62
ACCESSORY STRUCTURE(S), INC ADUs	838	838
TOTAL AREA:	3658	3740
2) SPECIFIC FLOOR AREA (SQ. FT.)		
COVERED PARKING	293	293
MAX STAIRWELL FOOTPRINT	36	36
ATTACHED OR DETACHED ADU	545	545
3) DEDUCTIONS (SQ. FT.)		
COVERED PARKING	220	220
STAIRWELL FOOTPRINT	36	36
ADU	545	545
TOTAL DEDUCTIONS:	801	801
4) TOTAL FAR SQUARE FOOTAGE (SECTION 1 - 3)	2857	2939
5) FLOOR AREA RATIO (FAR)		
SECTION 4 DIVIDED BY LOT SIZE OF 7560 SQ. FT.	37.8%	38.9%

LOCATION KEY	SYMBOL
MAIN HOUSE	
BASEMENT ADDITION	
COVERED PORCH	
GARAGE	
DETACHED ADU	

OWNERS:
BRANDON LUCE
1119 ORDWAY ST
ALBANY, CA 94706
510-816-1647

LUCE GARAGE
1119 ORDWAY ST.
ALBANY, CA 94706

FAR FLOOR PLANS,
SITE PLAN &
CALCULATION TABLE

REVISIONS

[illegible]

Date **3/17/2025**
Scale **as noted**
Drawn By **Brandon Luce**
Job **1119 ORDWAY GARAGE**
Sheet



OWNERS:
BRANDON LUCE

BRANDON LUCE

1119 ORDWAY ST
ALBANY, CA 94706

ALBANI, CA 94706
510-816-1647

2025-03-06

LUCE GARAGE
 1119 ORDWAY ST.
 ALBANY, CA 94706

1119 ORDWAY ST.
ALBANY, CA 94706

B

EX ELEVATIONS
PR ELEVATIONS
PHOTOGRAPHS

PHOTOGRAPHS

PHOTOGRAPHS

REVISIONS

DESCRIPTION	DATE
-------------	------

Date 03/17/2025

Scale
as noted

Drawn By

Brandon Luce

Job
1119 ORDWAY GARAGE

Sheet

A-2.C

